

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 04/23/2024
DATE

PUBLIC SESSION: 08/23/2024
DATE

ITEM (CHECK ONE)

 ORDINANCE X RESOLUTION X REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code approving a special use permit at the subject property located at 6977 Winchester Road, known as case number SUP 2023-040.

CASE NUMBER: SUP 2023-040

LOCATION: 6977 Winchester Road

COUNCIL DISTRICTS: District 2 and Super District 8 – Positions 1, 2, and 3

OWNER/APPLICANT: Sheikh Ahamed

REPRESENTATIVE: Raymond West/ Ray West Designs

REQUEST: Special Use Permit to allow a convenience store with gas sales

AREA: +/-0.66 acres

RECOMMENDATION: The Division of Planning and Development recommended *Approval with conditions*
The Land Use Control Board Recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: **Public Hearing Not Required**

PRIOR ACTION ON ITEM:

(1) _____	APPROVAL - (1) APPROVED (2) DENIED
<u>04/11/2024</u>	DATE
(1) Land Use Control Board	ORGANIZATION - (1) BOARD / COMMISSION
	(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

(2) _____	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
\$ _____	AMOUNT OF EXPENDITURE
\$ _____	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

\$ _____	OPERATING BUDGET
\$ _____	CIP PROJECT # _____
\$ _____	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
<u>mehran Ostadpour</u>	<u>April 15, 2024</u>	STAFF PLANNER
		DEPUTY ADMINISTRATOR
<u>Burt H. ...</u>	<u>4/15/24</u>	ADMINISTRATOR
		DIRECTOR (JOINT APPROVAL)
		COMPROLLER
		FINANCE DIRECTOR
		CITY ATTORNEY
		CHIEF ADMINISTRATIVE OFFICER
		COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

SUP 2023-040

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY LOCATED AT 6977 WINCHESTER ROAD, KNOWN AS CASE NUMBER SUP 2023-038.

- This item is a resolution with conditions for a special use permit to allow a convenience store with gas sales; and
- The item may require future public improvement contracts.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, April 11, 2024**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER:	SUP 2023-040
LOCATION:	6977 Winchester Road
COUNCIL DISTRICT(S):	District 2 and Super District 8 – Positions 1, 2, and 3
OWNER/APPLICANT:	Sheikh Ahamed
REPRESENTATIVE:	Raymond West/ Ray West Designs
REQUEST:	Special Use Permit to allow a convenience store with gas sales
EXISTING ZONING:	Commercial Mixed-Use-2 (CMU-2) District further restricted by the requirements of the Winchester-Germantown SC-1 General Plan
AREA:	+/-0.66 acres

The following spoke in support of the application: None

The following spoke in opposition the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion **passed by a vote of 7-0.**

Respectfully,

Mahsan Ostadnia

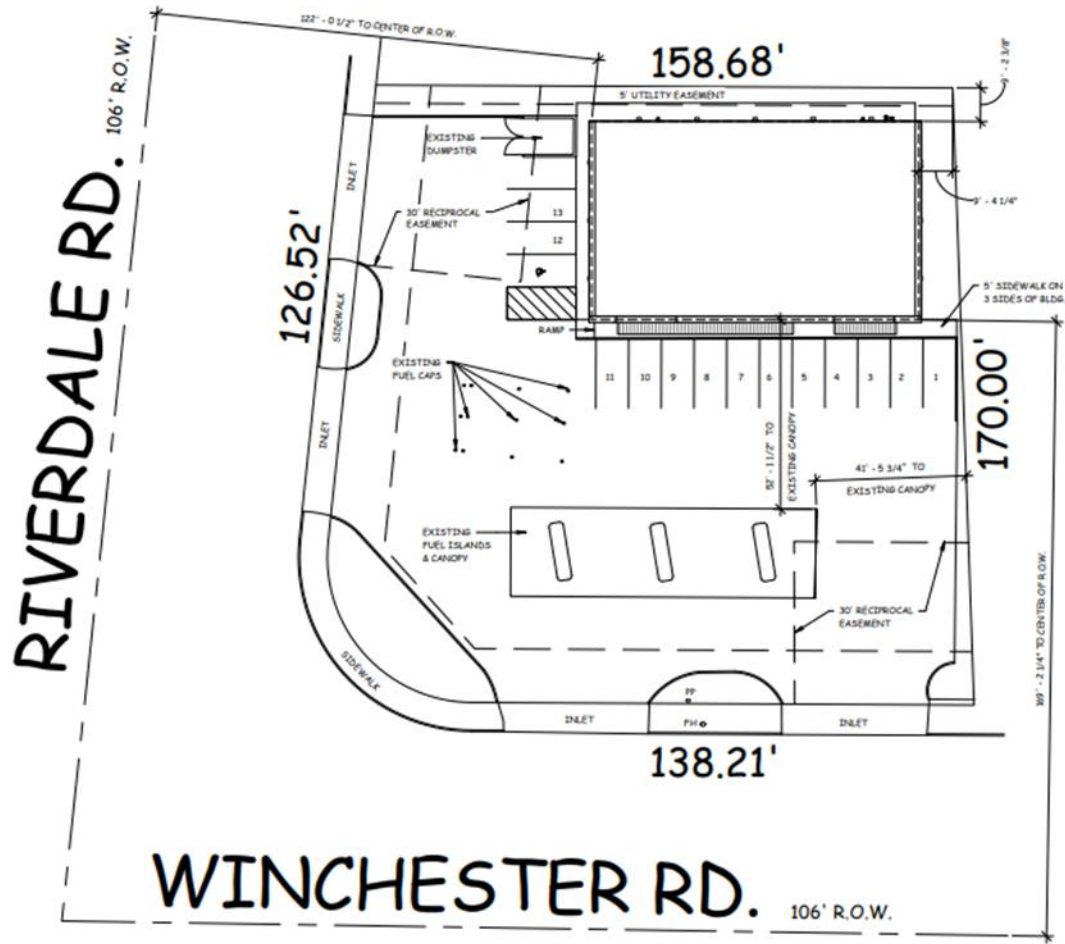
Planner II
Land Use & Development Services
Cc: Committee Members
File

SUP 2023-040

CONDITIONS

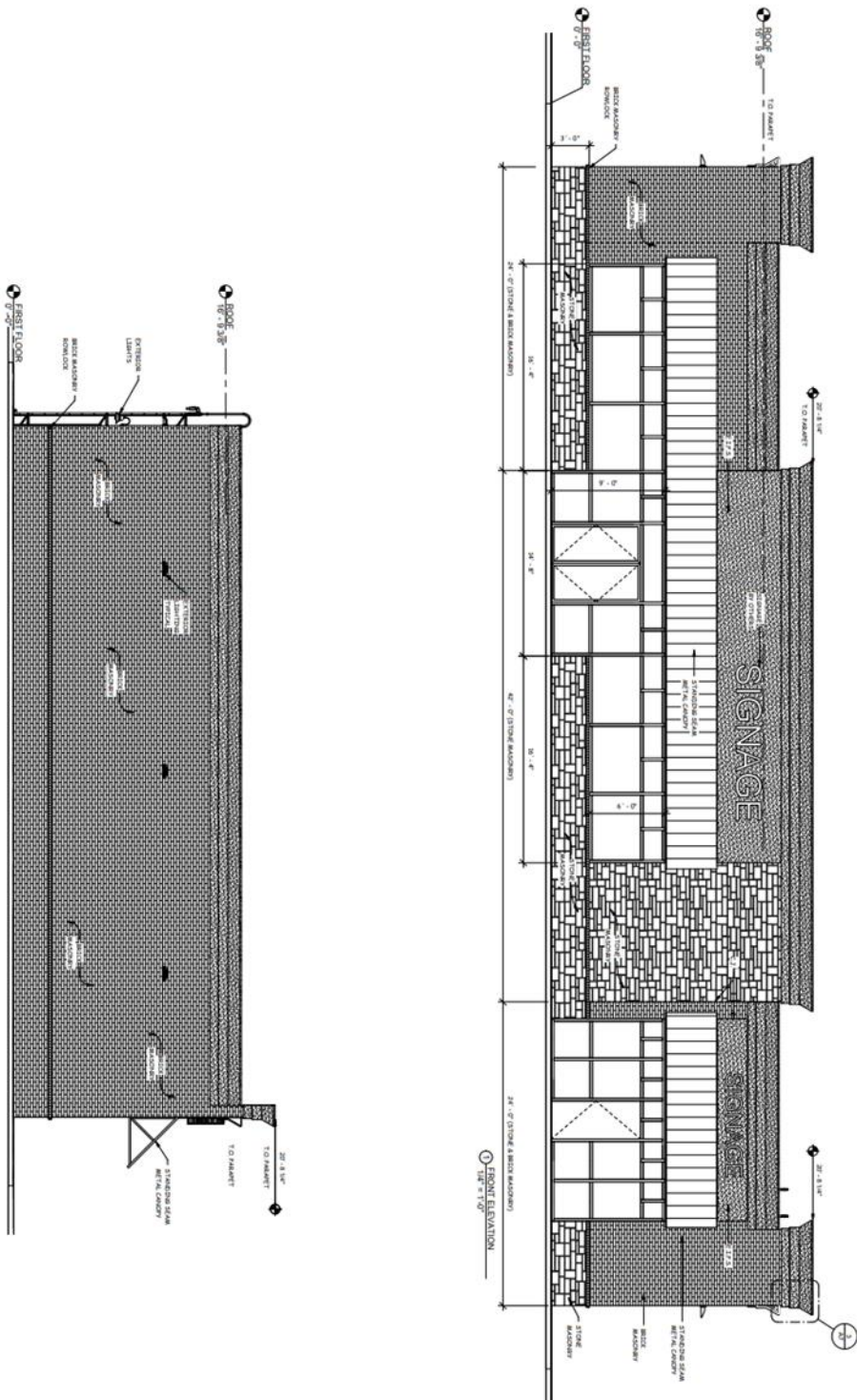
1. The existing curb cuts in Winchester Road and Riverdale Road closest to the intersection of River Road and Winchester Road shall be closed with curb, gutter, and sidewalk.
2. One curb cut shall be permitted to Winchester Road and one curb cut to Riverdale Road only if a design and location is approved by the City Engineer.
3. Streetscape Plate Type S-10 modified visa shrubs, and at least 8 feet in width shall be provided behind the sidewalks Winchester Road and Riverdale Road.
4. The dumpster location and screening shall meet the requirements of UDC Sub Section 4.6.8B.
5. The existing detached pole sign may be kept and used if it meets the requirements of UDC Section 4.9.15. If not, any detached signs, must meet the requirements of UDC Sub Section 4.9.7D.
6. Attached signs shall meet the requirements of UDC Sub Section 4.9.7D.
7. No signs are permitted under fuel canopy.
8. A bike rack and EV charging stations shall be provided.
9. The convenience store building facing Winchester Road and Riverdale Road shall be a minimum of 60% transparency.
10. Exterior building materials provided by the applicant included in the April 11, 2024, DPD staff report for the convenience store building shall be required.
11. The fuel canopy shall be architecturally compatible with the c-store building and include brick and/or stone cladding of the canopy support columns matching the stone and/or brick used on the c-store elevations.
12. The physical improvement of a driveway access easement to the south property line shall be provided.
13. The c-store building shall maintain a 60-foot minimum building setback from both Winchester Road and Riverdale Road as required by the Winchester-Germantown SC-1 General Plan recorded in Plat Book 299, Page 48.
14. The existing fuel canopy may remain with a minimum 24-foot setback from Winchester Road as previously approved by the Board of Adjustment.
15. The fuel canopy height shall not exceed 20 feet.
16. The applicant shall be required to file a Revised Final Plat of phase 1 of the Winchester-Germantown Shopping Center C-P that will include a site plan, building elevations, landscaping plan, a list of the SUP conditions, and graphic compliance with the conditions. This will include the Memo of Conformance Process to assure City Engineering review and approval of the Final Plat.

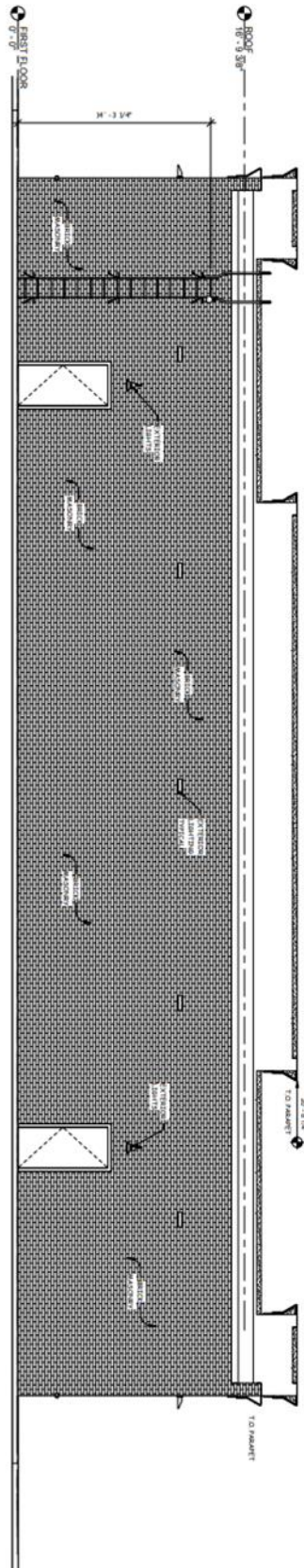
SITE PLAN



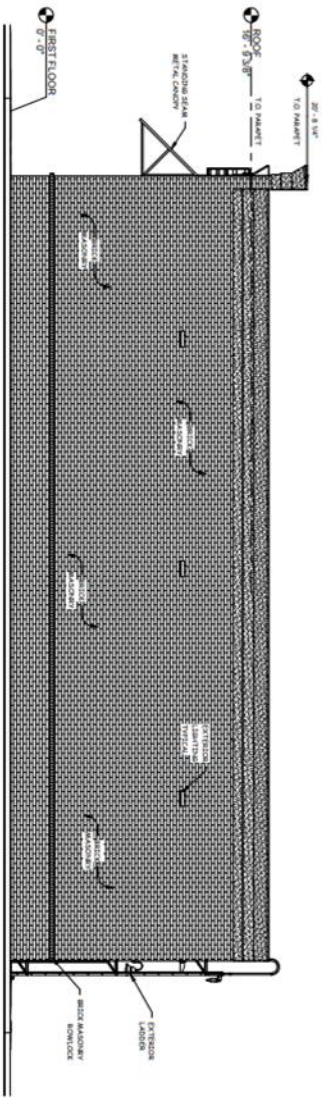
1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

ELEVATIONS





① REAR ELEVATION
1/4" = 1'-0"



② RIGHT-SIDE ELEVATION
1/4" = 1'-0"

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY LOCATED AT 6977 WINCHESTER ROAD, KNOWN AS CASE NUMBER SUP 2023-040.

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a special use permit for certain stated purposes in the various zoning districts; and

WHEREAS, Sheikh Ahamed filed an application with the Memphis and Shelby County Division of Planning and Development to allow a a convenience store with gas sales; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives, and standards for special use permits as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation concerning the above considerations to the Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on April 11, 2024, and said Board has submitted its findings and recommendation concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a special use permit is hereby granted for the request use in accordance with the attached conditions.

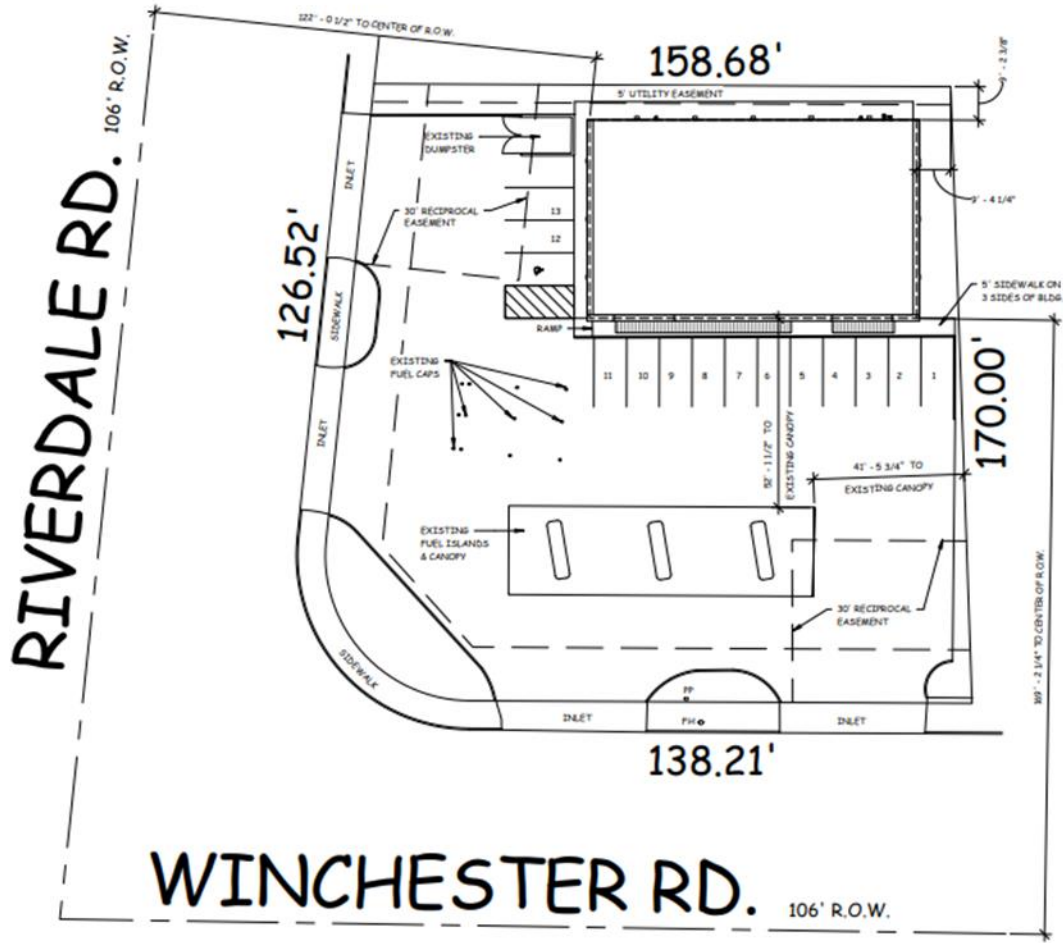
BE IT FURTHER RESOLVED, that this permit merely authorizes the filing of applications to acquire a Certificate of Use and Occupancy, or a Building Permit, and other required permits and approvals, provided that no such Certificate of Use and Occupancy shall be granted until all conditions imposed by the Council of the City of Memphis have been met.

BE IT FURTHER RESOLVED, that this Resolution take effect from and after the date it shall have been passed by this Council of the City of Memphis, and become effective as otherwise provided by law, and thereafter shall be treated as in full force and effect by virtue of passage thereof by the Council of the City of Memphis, the public welfare requiring same.

CONDITIONS

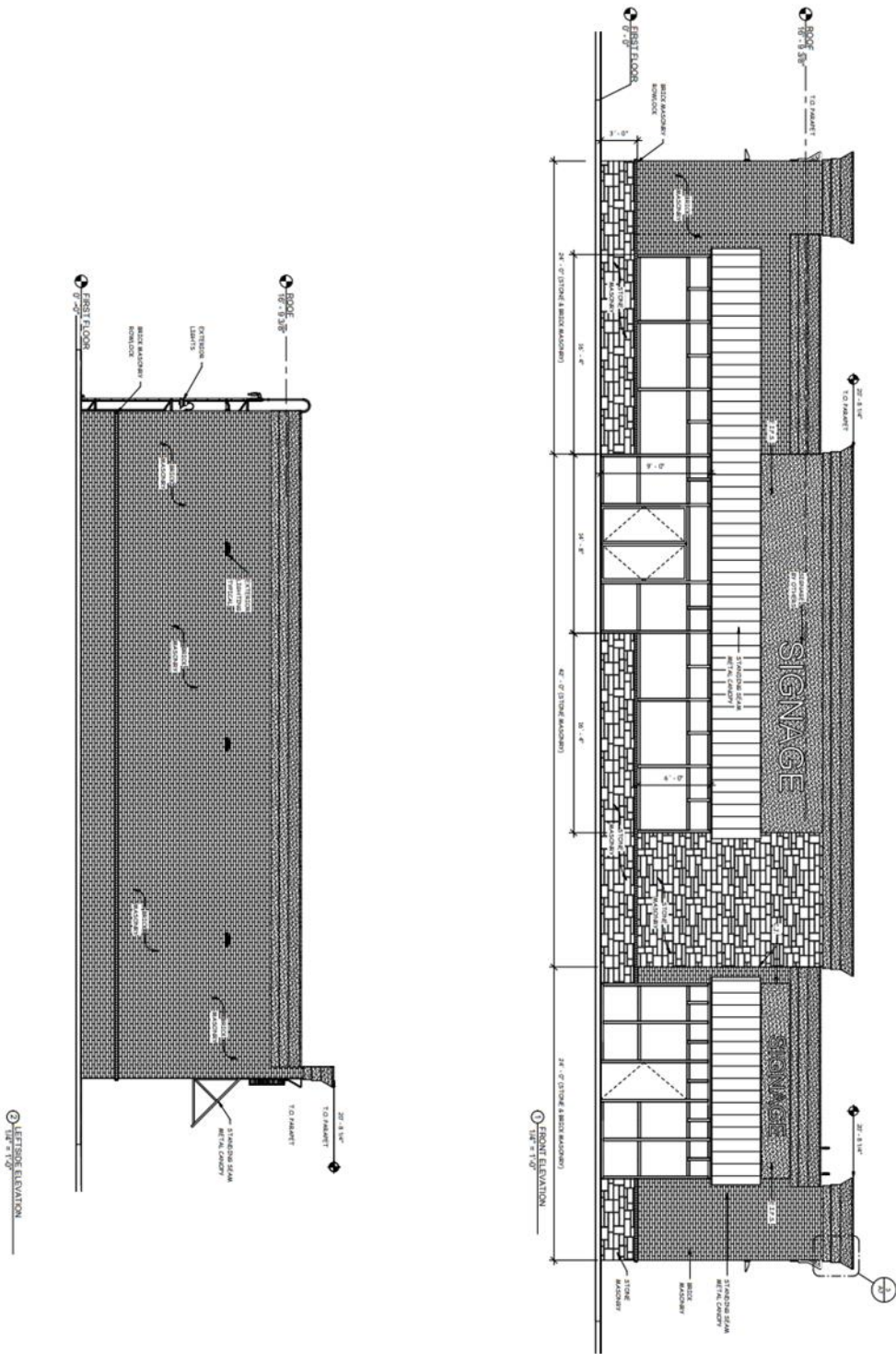
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4. The dumpster location and screening shall meet the requirements of UDC Sub Section 4.6.8B.
5. The existing detached pole sign may be kept and used if it meets the requirements of UDC Section 4.9.15. If not, any detached signs, must meet the requirements of UDC Sub Section 4.9.7D.
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8. A bike rack and EV charging stations shall be provided.
9. The convenience store building facing Winchester Road and Riverdale Road shall be a minimum of 60% transparency.
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15. The fuel canopy height shall not exceed 20 feet.
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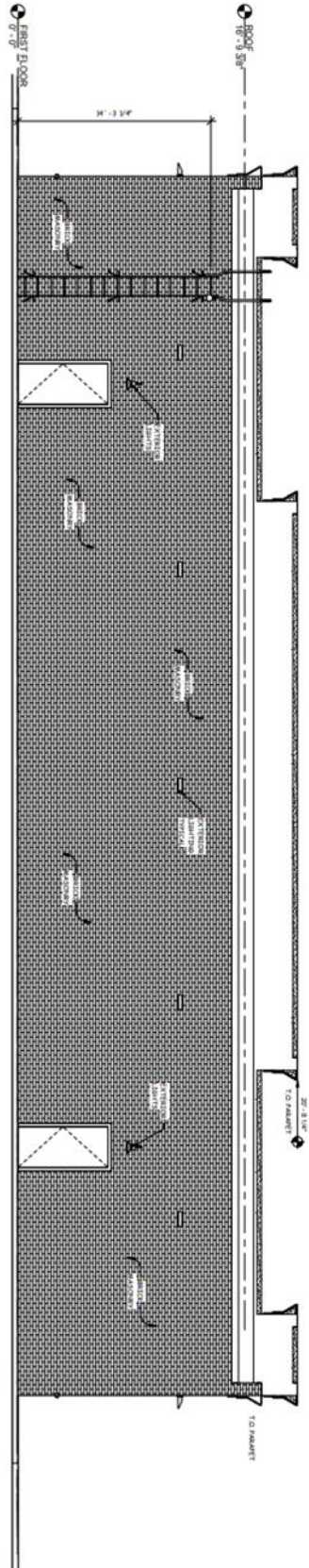
SITE PLAN



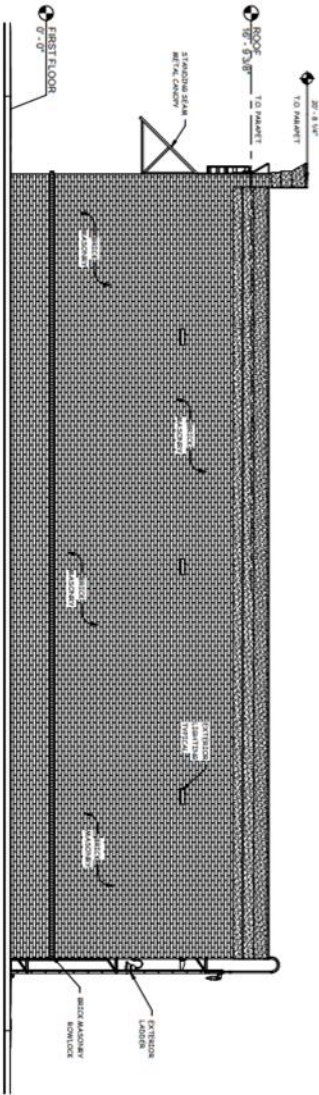
1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

ELEVATIONS





REAR ELEVATION
1/4" = 1'-0"



RIGHTSIDE ELEVATION
1/4" = 1'-0"

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

AGENDA ITEM: 7

CASE NUMBER: SUP 2023-040 **L.U.C.B. MEETING:** April 11, 2024

LOCATION: 6977 Winchester Road

COUNCIL DISTRICT: District 2 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Sheikh Ahamed

REPRESENTATIVE: Raymond West/ Ray West Designs

REQUEST: Special Use Permit to allow a convenience store with gas sales

AREA: +/- 0.66 acres

EXISTING ZONING: Commercial Mixed-Use-2 (CMU-2) District further restricted by the requirements of the Winchester-Germantown SC-1 General Plan; BOA 1981-084,

CONCLUSIONS

1. A convenience store with gas sales has been operating at this site since the early 1980's. Recently, the business had to cease operation after the convenience store building was damaged. The applicant now seeks to demolish the existing building and rebuild with a different building footprint.
2. The Winchester -Germantown SC-1 General Plan governs the site. Its primary restriction includes a minimum 60-foot front yard building setback from both street frontages.
3. The applicant proposes retaining the existing gas pump island canopy. This canopy was approved by Docket BOA 1981-084 to have a minimum setback of 24 feet from Winchester Road.
4. The applicant has chosen the Special Use Permit approved process rather than attempt to design the site to comply with UDC Sub-Section 2.6.3J(2)(d)(ii).

CONSISTENCY WITH MEMPHIS 3.0

This proposal is inconsistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on page 16-18 of this report.

RECOMMENDATION

Approval with conditions.

GENERAL INFORMATION

Street Frontage:	Winchester Road	+/-138.21 linear feet
	Riverdale Road	+/-126.52 linear feet
Zoning Atlas Page:	2350	
Parcel ID:	093500 00187	
Existing Zoning:	Commercial Mixed-Use-2 (CMU-2) District further restricted by the requirements of the Winchester-Germantown SC-1 General Plan; BOA 1981-084	

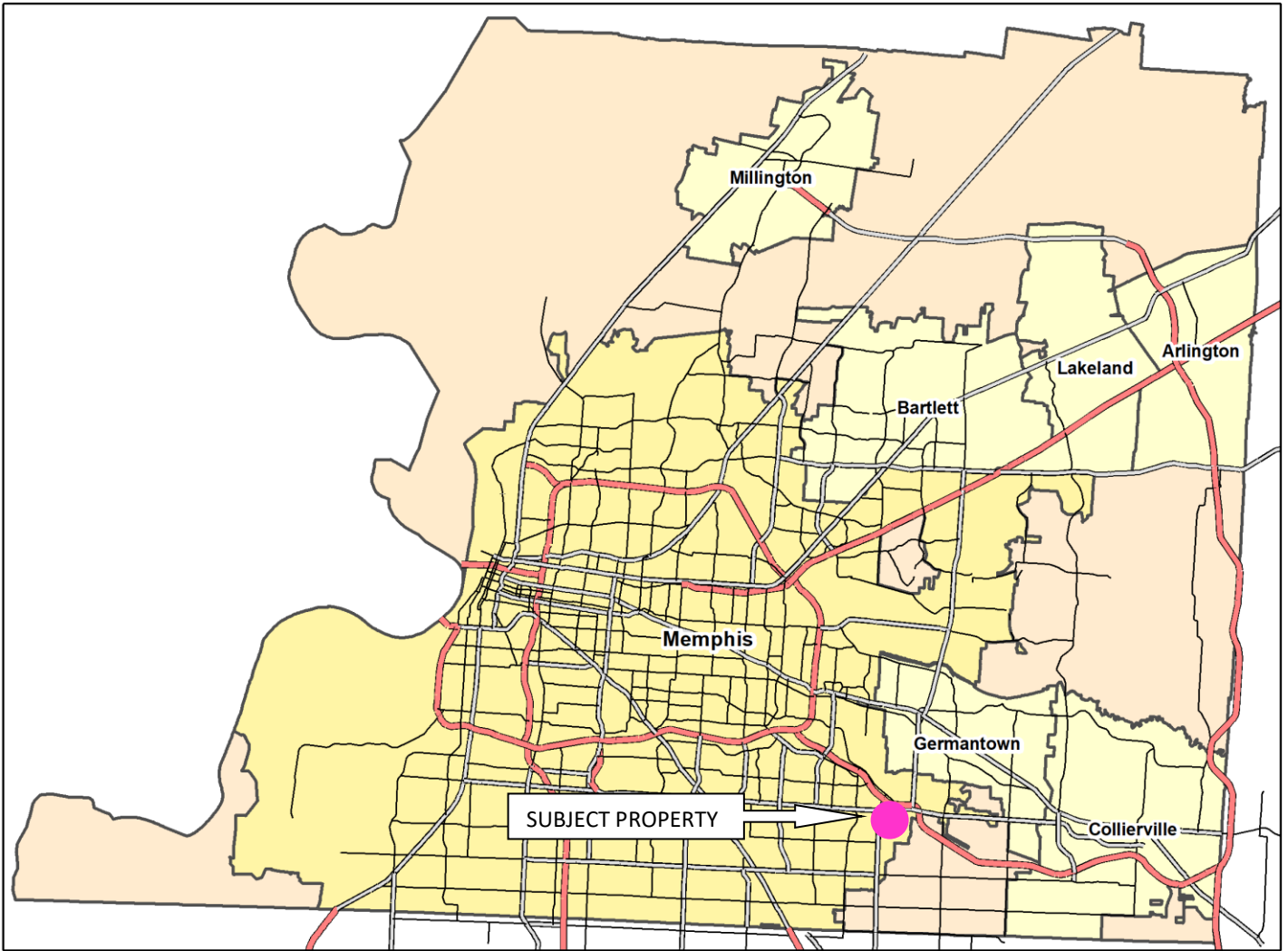
NEIGHBORHOOD MEETING

The meeting was held at 6:00 PM on Wednesday, March 27, 2024, at the Hibachi Grill, 3813 Riverdale Road, Memphis, TN, 38115.

PUBLIC NOTICE

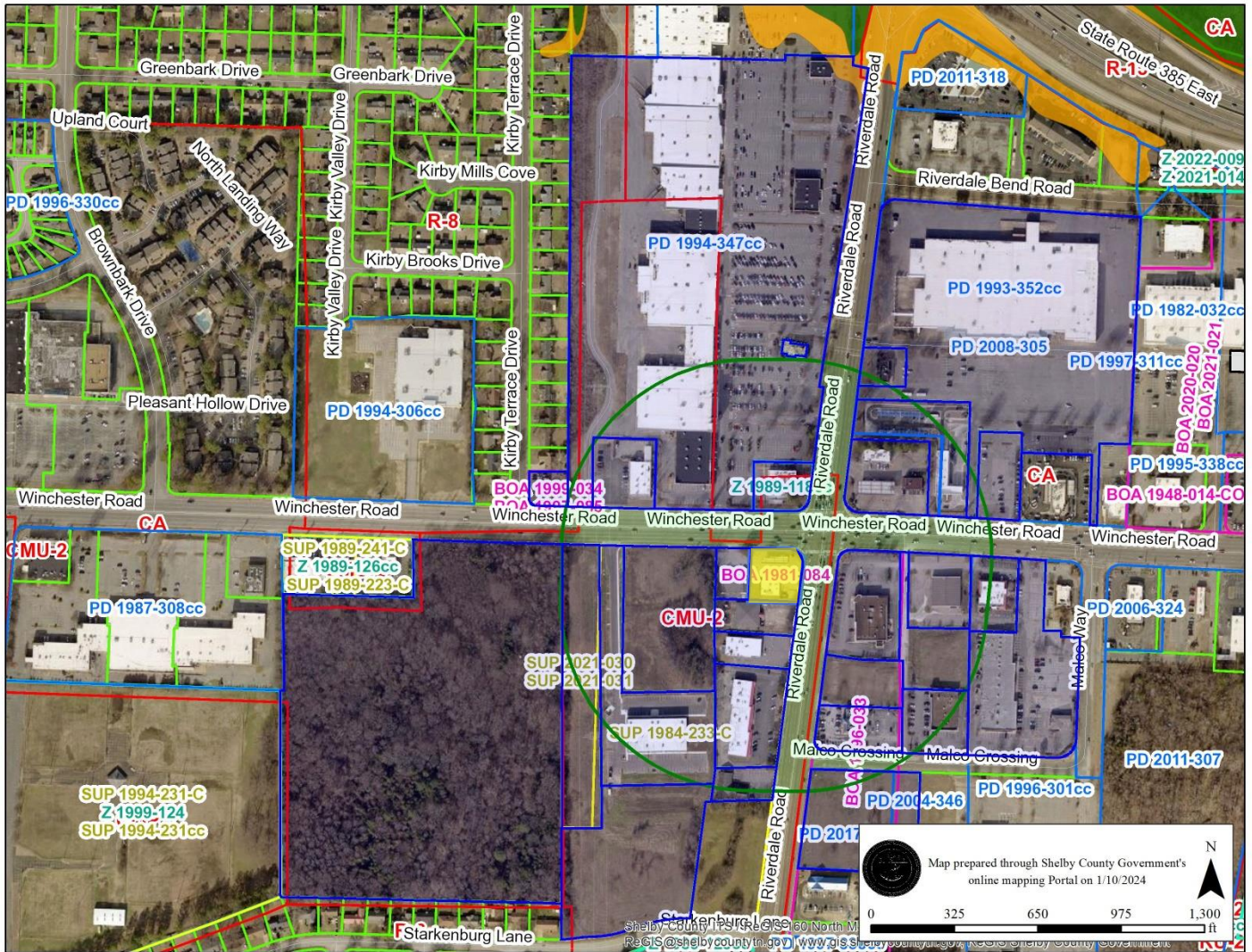
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 29 notices were mailed on January 11, 2024, and a total of 1 sign posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



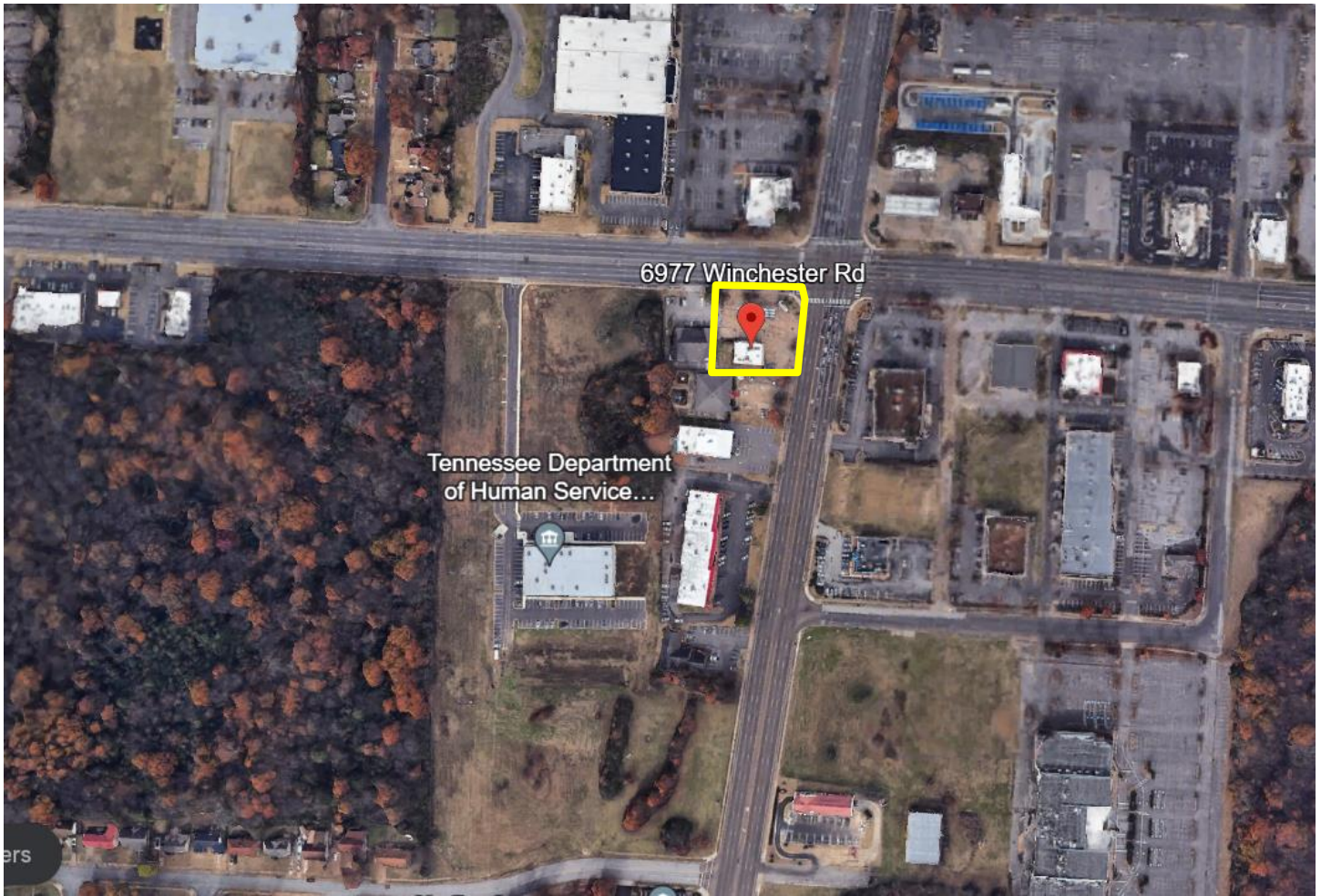
The subject property is located within the pink circle.

VICINITY MAP



The site is highlighted in yellow.

AERIAL



The subject property is outlined in yellow.

ZONING MAP



The subject property is highlighted in yellow.

Existing Zoning: Commercial Mixed-Use-2 (CMU-2) District further restricted by the requirements of the Winchester-Germantown SC-1 General Plan; BOA 1981-084

Surrounding Zoning

North: CMU-2, CA, Z 1989-118CC

East: CA, BOA 1996-033, PD 2004-346

South: CMU-2, RU-3, CA, R-6, SUP 1984-233 C

West: CMU-2, CA, SUP 2021-030, SUP 2021-031

LAND USE MAP



The subject property is indicated by a yellow star.

SITE PHOTOS



View of the subject property from Riverdale Road.

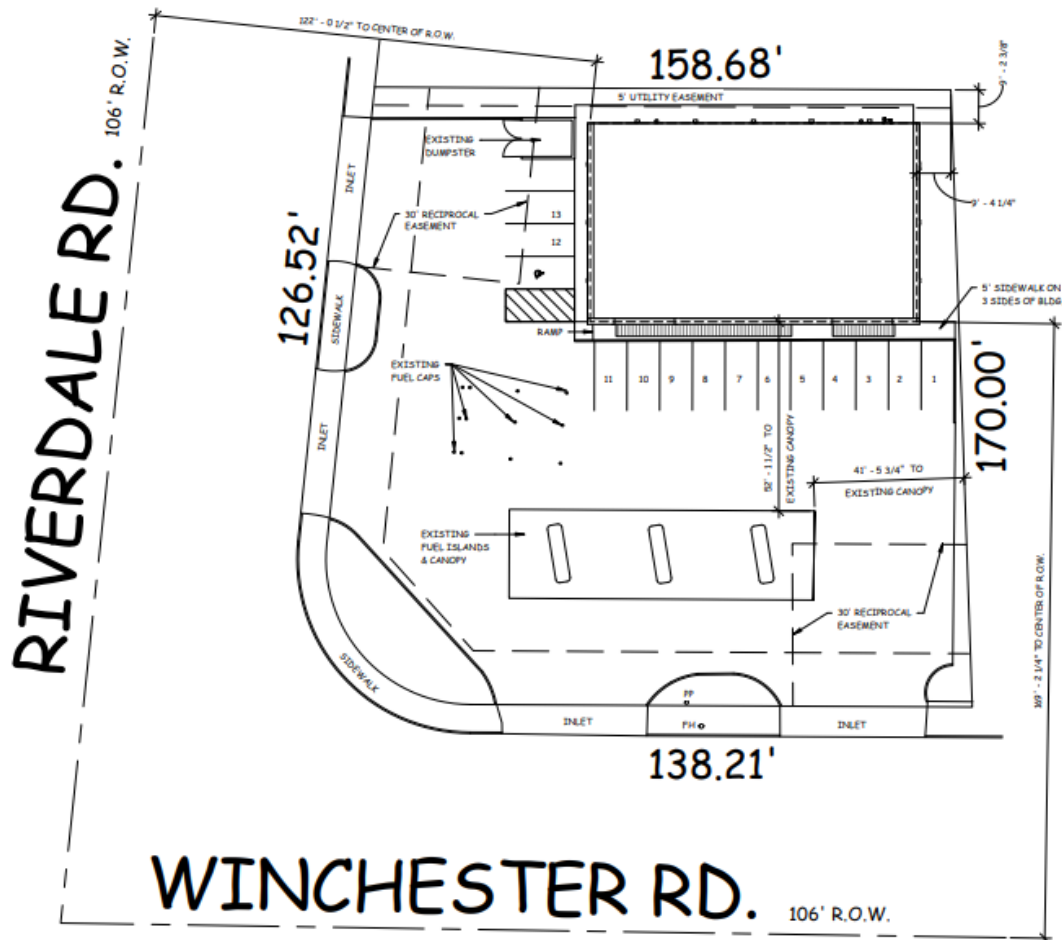


View of the subject property from Winchester Road.



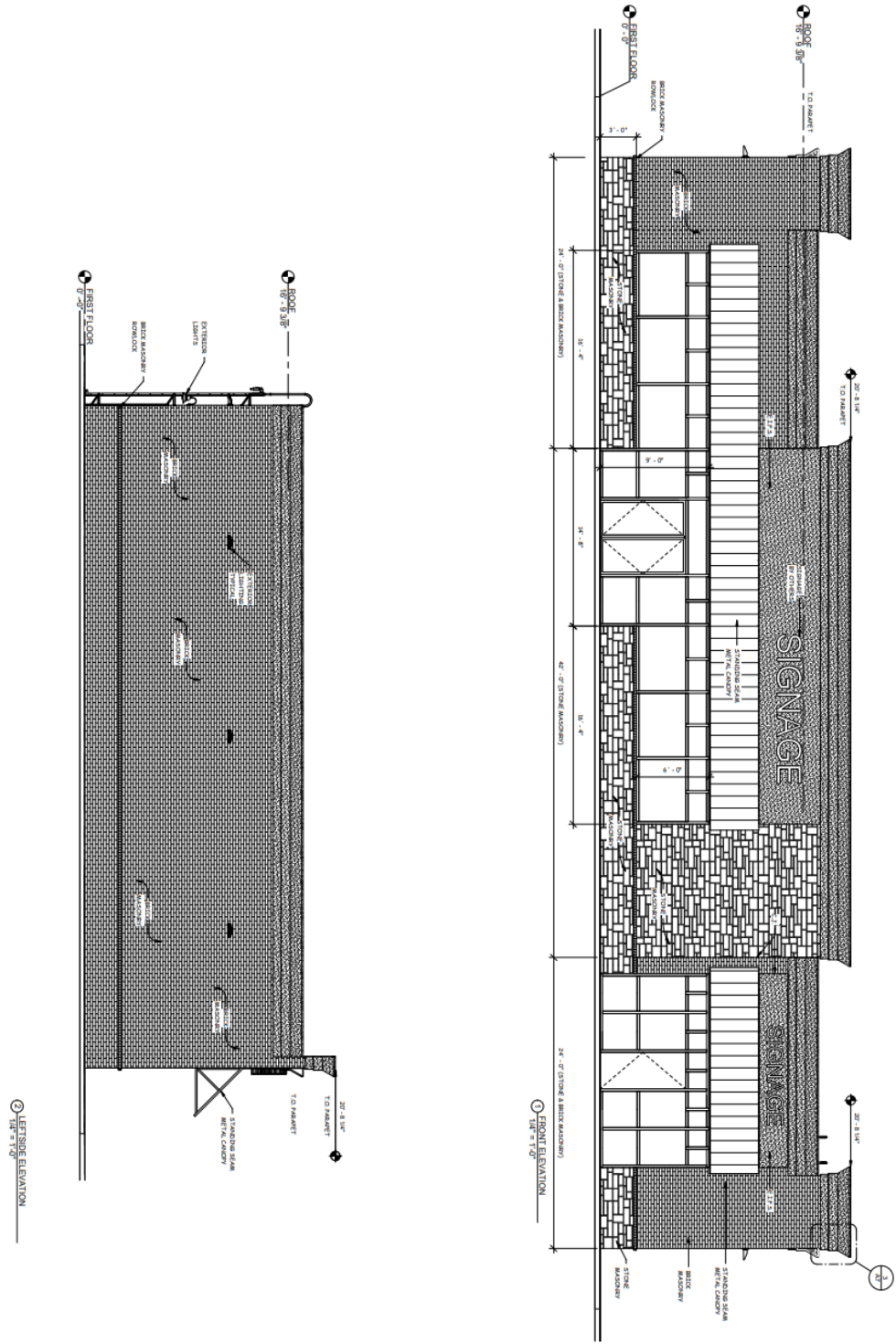
View of the subject property and the surrounding areas from above.

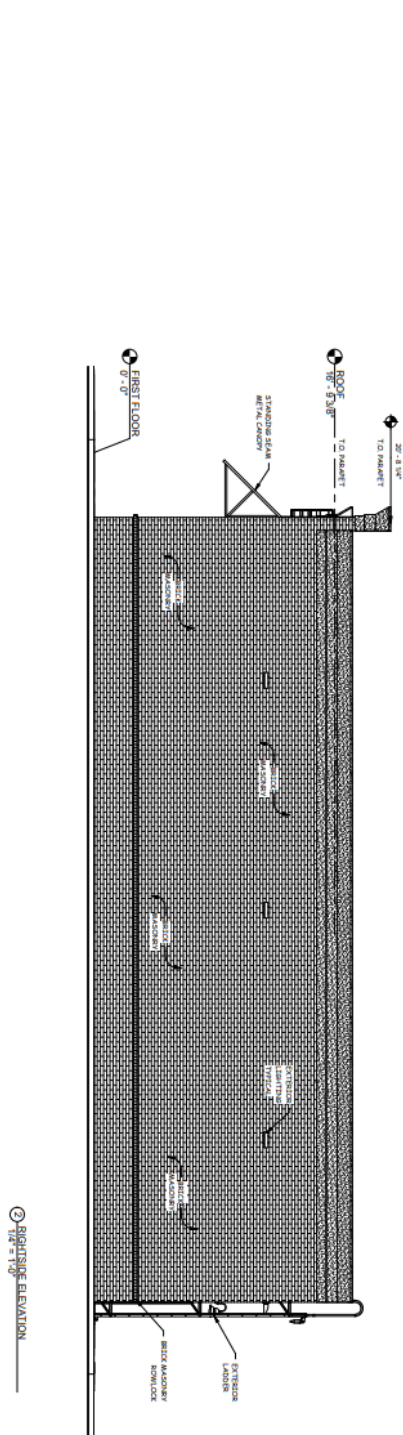
SITE PLAN



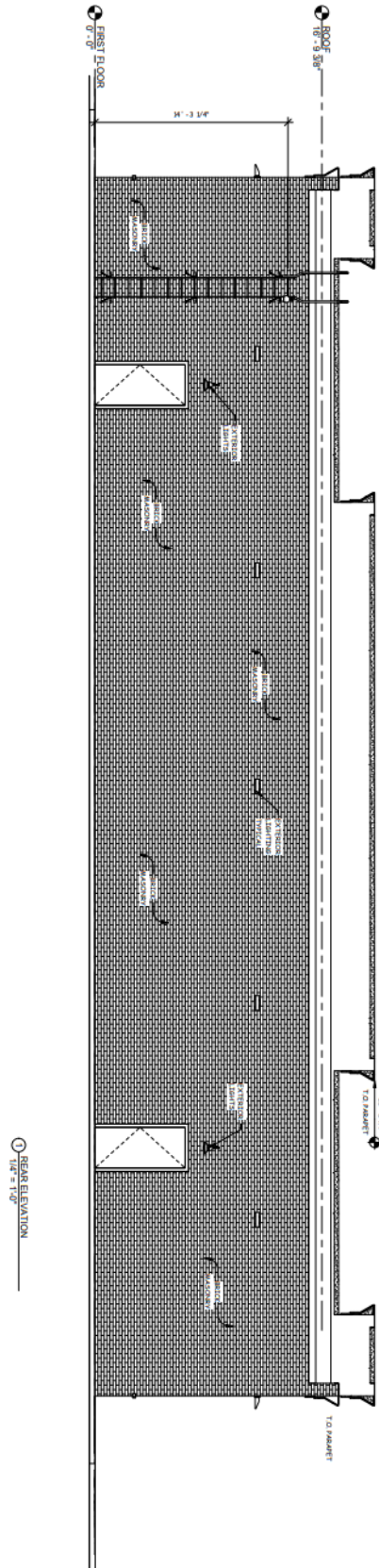
1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

ELEVATIONS





RIGHTSIDE ELEVATION



REAR ELEVATION

STAFF ANALYSIS

Request

The application and letter of intent have been added to this report.

The request is a special use permit to allow a convenience store with gas sales in the commercial mixed-use-2 (CMU-2) District.

Approval Criteria

Staff **agrees** the approval criteria in regard special use permits as set out in Section 9.6.9 of the Unified Development Code are met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- 9.6.9A The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- 9.6.9B The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- 9.6.9C The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- 9.6.9D The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- 9.6.9E The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- 9.6.9F The request will not adversely affect any plans to be considered (see Chapter 1.9) or violate the character of existing standards for development of the adjacent properties.*
- 9.6.9G The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to ensure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- 9.6.9H Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Description

The site is currently occupied by a closed convenience store building that contained gas pumps under a covered canopy. The canopy remains on the site. A temporary chain-link fence has been erected around the site.

The site contains two curb cuts each along the frontage of Winchester Road and Riverdale Road. These curb cuts appear to have been part of the original construction of the convenience store with gas sales facility in the early 1980.

Some streetscaping does exist along both street frontages. Overhead utility lines also exist along both street frontages. One detached sign is present at the intersection of Winchester Road and Riverdale Road. There is no sign panel. Digital display readers for gas prices remain on the sign structure.

What appears to be a dumpster enclosure is located on the east side of the building. It is easily visible from Riverdale Road with no landscaping around it. Sidewalks exist along both street frontages. A grass strip separates the sidewalks from the back of the street curb.

Site Zoning History

The current CMU-2 zoning for the site dates back to the adoption of SC-1 Zoning District for the site in October 1978 by the City Council and County Commission (Case Z 1978-267 CC). This zoning included the adoption of Winchester-Germantown SC-1 General Plan which set limits on the development of the SC-1 area including building setbacks, landscaping, and curb cuts. UDC Section 1.13.3 says these general plans are to remain honored. For reference, SC-1 later came to be known as C-P and is now referred to as the CMU-2 Zoning District.

On May 27, 1981, the Board of Adjustment approved Docket #81-84 County for the site to allow the existing gas pumps canopy to be no closer than 24 feet from Winchester Road.

Sign variances were also granted because the General Plan Conditions at the time only allowed one detached sign for the entire general plan area which stretched from Winchester Road south to Starckenburg Lane.

In January 2023, the Land Use Control Board approved a request to remove the General Plan sign condition in favor of signs that are regulated by the Commercial Mixed-Use sign regulations in the UDC.

Site Plan Review

The existing site improvements are consistent with the current final plat recorded on the site found in the Plat Book 132, Page 92. It should be noted though that the required reciprocal access easement driveway connection at the south property line has never been constructed to the south property line.

Other than the proposed building footprint being different compared to its current location as built and platted, the applicant proposes virtually no changes to the existing site.

Analysis

This site is located at one of the busiest intersections in Southeast Memphis. The convenience store with gas sales use have has long been a fixture at this intersection. While DPD does not object to the use being re-established, there are several physical improvements that should come with standards now found in the Unified Development Code for this use.

Starting with the convenience store building itself, the removal of the existing building in favor of a new building presents design improvement opportunities. The applicant's brick and stone masonry building elevations are a great start, but the following changes are recommended. It is recommended that the front elevation of the building contain at least 60% transparency. Ground floor transparency is measured at a point between 2 feet and 12 feet above the adjacent sidewalk. Further, the left-side elevation facing Riverdale Road should incorporate the same transparency requirements. The goal here is to eliminate blank walls facing public streets.

Concerning the existing pump islands canopy, the applicant has indicated he does not intend for the canopy to be in the project. DPD disagrees as the canopy design is an integral element in approving any new convenience store with gas sales. To this end, the canopy color and architectural design shall be consistent with the C-store building. This would include cladding the existing canopy support columns with the brick and/or store used on the c-store building. In addition, no signage shall be added to canopy.

The curb cuts closest to the intersection of Winchester Road and Riverdale Road should be closed with curb gutter, and sidewalk with a streetscape added behind the sidewalk with a streetscape added behind the sidewalk at least 8 feet in width such as a Type S-10 Streetscape Plate modified with no shrubs.

The aforementioned lack of a physical easement/drive aisle connection at the south property line should be added. The applicant would only be responsible for adding the driveway up to the property line and not beyond that.

The proposed dumpster location may have to be moved, there are standards in the UDC relating to these facilities that may not lend the location here as being acceptable. The site may need to be modified to provide an alternate location.

If the applicant intends to use the existing detached sign, it will have to be brought up to the current Commercial Mixed Use Zoning sign requirements if permitted. This could mean lowering the sign height, decreasing the sign area, adding pole covers, and landscaping at the base of the sign. The rules governing in the UDC Section 4.9.15. Otherwise, if the applicant removes the sign and constructs a new detached sign, it shall meet the current requirements of the Commercial Mixed Use sign requirements.

Recommended conditions are provided to address the items brought forth on tis analysis. The use itself is supported by DPD with the conditions that follow.

This project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.

RECOMMENDATION

Staff recommends approval with conditions.

Conditions

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DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City Engineer: No comments received.

City Fire Division:

- All design and construction shall comply with the 2021 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503.
- Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).
- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- IFC 510 In-building two-way emergency responder communication coverage shall be provided in all new and existing buildings. Buildings and structures that cannot support the required level of coverage shall be equipped with systems and components to enhance signals and achieve the required level of communication coverage.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

City Real Estate: No comments received.

City/County Health Department: No comments received.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Office of Sustainability and Resilience: No comments received.

Comprehensive Planning Review of Memphis 3.0 Consistency

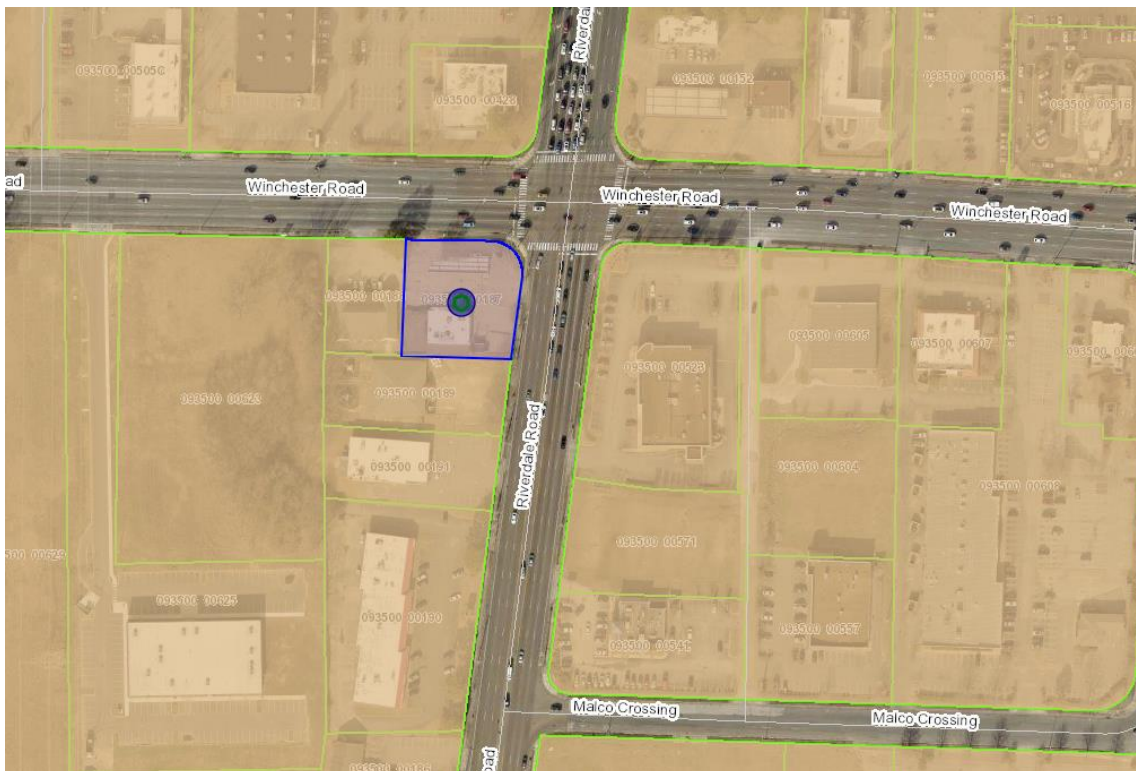
This summary is being produced in response to the following application to support the Land Use and Development Services department in their recommendation: [LUCB SUP 23-40](#)

Site Address/Location: 6977 Winchester Rd.
Overlay District/Historic District/Flood Zone: N/A
Future Land Use Designation: Low Intensity Commercial and Services (CSL)
Street Type: Parkway

The applicant is requesting a special use permit for a convenience store and gas sales.

The following information about the land use designation can be found on pages 76 – 122:

1. Future Land Use Planning Map



Blue polygon indicates the application site on the Future Land Use Map.

2. Land Use Description/Intent

Low Intensity Commercial and Service (CSL) areas are typically not associated with anchors. These areas may include neighborhood supporting commercial uses such as retail sales and services, offices, restaurants, funeral services, small-scale recreation, social service institutions, and occasional upper-story residential. Graphic portrayal of CSL is to the right.



“CSL” Form & Location Characteristics

Commercial and services uses, 1-4 stories height

“CSL” Zoning Notes

Generally compatible with the following zone districts: CMU-1 without frontage requirements, OG, SDBP in accordance with Form and characteristics listed above.

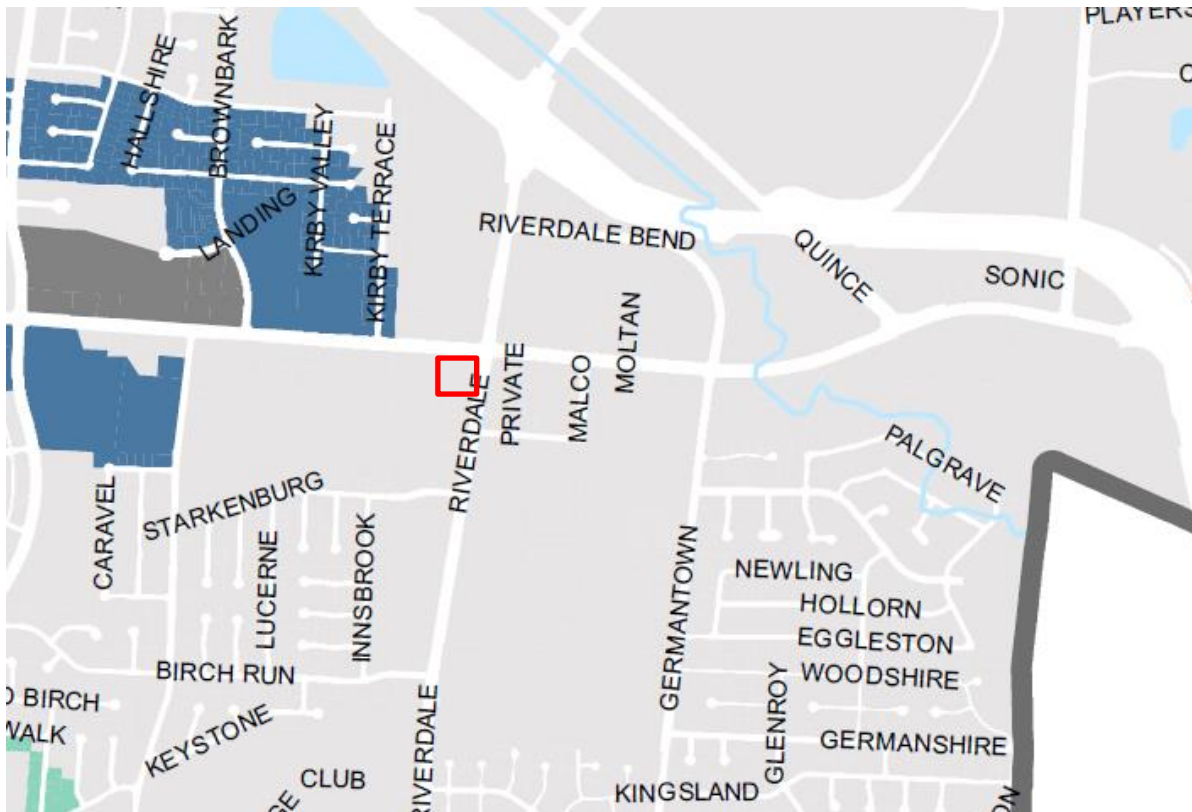
Existing, Adjacent Land Use and Zoning

Existing Land Use and Zoning: Vacant, CMU-2

Adjacent Land Use and Zoning: Commercial and Vacant Land; RU-3 and CA

Overall Compatibility: *This requested use is not compatible with the land use description/intent, form & location characteristics. However, with conditions that require design and pedestrian improvements to an existing gas station and due to existing/adjacent land uses and zoning, the request is consistent.*

3. Degree of Change Map



Red polygon denotes the proposed site on the Degree of Change Map. There is no Degree of Change.

4. Degree of Change Description N/A

5. Objectives/Actions Consistent with Goal 1, Complete, Cohesive, Communities N/A

6. Pertinent Sections of Memphis 3.0 that Address Land Use Recommendations N/A

Consistency Analysis Summary

The applicant is requesting a special use permit for a convenience store and gas sales. This requested use is not compatible with the land use description/intent or form & location characteristics. However, with conditions that require design and pedestrian improvements to an existing gas station and due to existing/adjacent land uses and zoning, the request is consistent.

Based on the information provided, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Bradyn Carson, Comprehensive Planning.

APPLICATION



Record Summary for Special Use Permit

Record Detail Information

Record Type: Special Use Permit

Record Status: Processing

Opened Date: December 13, 2023

Record Number: SUP 2023-040

Expiration Date:

Record Name: New Gas Station

Description of Work: The intent of the SUP will allow for the owner to re-build the existing Gas Station with an additional bay on the site located at 6977 Winchester Road, Memphis, Tn. 38115. The new building will have a Sales Floor, Kitchen Area, Cashier Area, Restrooms, Mechanical Area and an empty bay. The existing Gas Pumps will remain and are not in this scope of work.

Parent Record Number:

Address:

6977 WINCHESTER RD, Memphis 38115

Owner Information

Primary Owner Name

Y AHAMED SHEIKH M

Owner Address

4501 SIR GALAHAD LN, BARTLETT, TN 38135

Owner Phone

6788860020

Parcel Information

093500 00187

Data Fields

PREAPPLICATION MEETING

Name of OPD Planner

Lucas Skinner

Date of Meeting

08/21/2023

PREAPPLICATION MEETING

Pre-application Meeting Type Email

GENERAL PROJECT INFORMATION

Application Type New Special Use Permit (SUP)

List any relevant former Docket / Case Number N/A

Number(s) related to previous applications on this site

Is this application in response to a citation, stop work order, or zoning letter No

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information N/A

APPROVAL CRITERIA

A) The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare THIS PROJECT WILL NOT HAVE ANY EFFECT ON ANY CONDITION MENTIONED

B) The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations YES

UDC Sub-Section 9.6.9C YES

UDC Sub-Section 9.6.9D NO

UDC Sub-Section 9.6.9E YES

UDC Sub-Section 9.6.9F NO

GIS INFORMATION

Case Layer -

Central Business Improvement District No

Class -

Downtown Fire District No

Historic District -

Land Use -

Municipality -

Overlay/Special Purpose District -

Zoning -

State Route -

Lot -

Subdivision -

Planned Development District -

Wellhead Protection Overlay District No

Data Tables

AREA INFORMATION

Name: A.T.L. ENTERPRISE

Size (Acres): 0.66
Existing Use of Property: GAS STATION
Requested Use of Property: GAS STATION

Contact Information

Name
AHAMED SHEIKH M
Contact Type
APPLICANT

Address

Phone
(678)886-0020

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed
1524160	Credit Card Use Fee (.026 x fee)	1	13.00	INVOICED	0.00	12/13/2023
1524160	Special Use Permit Fee - 5 acres or less (Base Fee)	1	500.00	INVOICED	0.00	12/13/2023
			Total Fee Invoiced: \$513.00	Total Balance: \$0.00		

Payment Information

Payment Amount
\$513.00
Method of Payment
Credit Card

LETTER OF INTENT

Ray West Designs
7565 Daniel Riggs Cove
Memphis, TN. 38125
(o) 901.949.3114
(e) raywesthomes@aol.com

12/12/2023

To Whom It May Concern:

I, Ray West is writing this regarding a SUP application for the property located at 6977 Winchester Road, Memphis, Tn. 38115.

The intent of the SUP will allow for the owner to re-build the existing Gas Station with an additional bay on the site located at 6977 Winchester Road, Memphis, Tn. 38115. The new building will have a Sales Floor, Kitchen Area, Cashier Area, Restrooms, Mechanical Area and an empty bay. The existing Gas Pumps will remain and are not in this scope of work.

This will allow the dilapidated building to be demolished and replaced with a newly built building.

Sincerely,



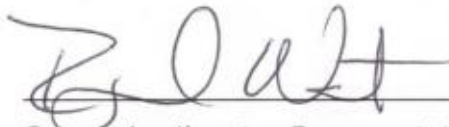
WWW.RWESTDESIGNS.COM

SIGN AFFIDAVIT

AFFIDAVIT

Shelby County
State of Tennessee

I, **Ray West**, being duly sworn, depose and say that at **10:56 am** on the 15th day of March, 2024 I posted one Public Notice Sign pertaining to Case No. **SUP 2023-040** to the fence in front of the property located at 6977 Winchester Road, Memphis, Tn. 38115, providing notice of a Public Hearing before the **April 11, 2024** Land Use Control Board for consideration of a proposed Land Use Action (Special Use Permit), a photograph of said sign being attached hereon and a copy of the sign purchase receipt is also attached with this affidavit.



Owner, Applicant or Representative

3/15/24
Date

Subscribed and sworn to before me this 15 day of March, 2024



Notary Public
My Commission expires: 11/13/2024





**MEMPHIS AND
SHELBY COUNTY**  **DIVISION OF PLANNING
AND DEVELOPMENT**
CITY HALL, 125 N. MAIN STREET, SUITE 408, MEMPHIS, TN 38103-2084; (901) 636-6019

PUBLIC NOTICE

AN APPLICATION HAS
BEEN FILED FOR A
**SPECIAL USE
PERMIT**
ON THIS PROPERTY.

A PUBLIC HEARING
WILL BE HELD.



CASE NO: SUP 2023-040
INFORMATION: 636-6619

DEFACING, TAMPERING WITH OR REMOVAL OF THIS SIGN BY ANYONE OTHER THAN THE PROPERTY OWNER OR HIS AGENT IS PROHIBITED BY CITY OF MEMPHIS & SHELBY COUNTY ORDINANCES

LETTERS RECEIVED

No letters received at the time of completion of this report.



Record Summary for Special Use Permit

Record Detail Information

Record Type: Special Use Permit

Record Status: Processing

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Y	AHAMED SHEIKH M

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4501 SIR GALAHAD LN, BARTLETT, TN 38135

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UDC Sub-Section 9.6.9D NO

UDC Sub-Section 9.6.9E YES

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State Route -

Lot -

Subdivision -

Planned Development District -

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Contact Information

Name AHAMED SHEIKH M **Contact Type** APPLICANT
Address

Phone
(678)886-0020

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Payment Amount \$513.00 **Method of Payment** Credit Card

Ray West Designs

7565 Daniel Riggs Cove

Memphis, TN. 38125

(o) 901.949.3114

(e) raywesthomes@aol.com

12/12/2023

To Whom It May Concern:

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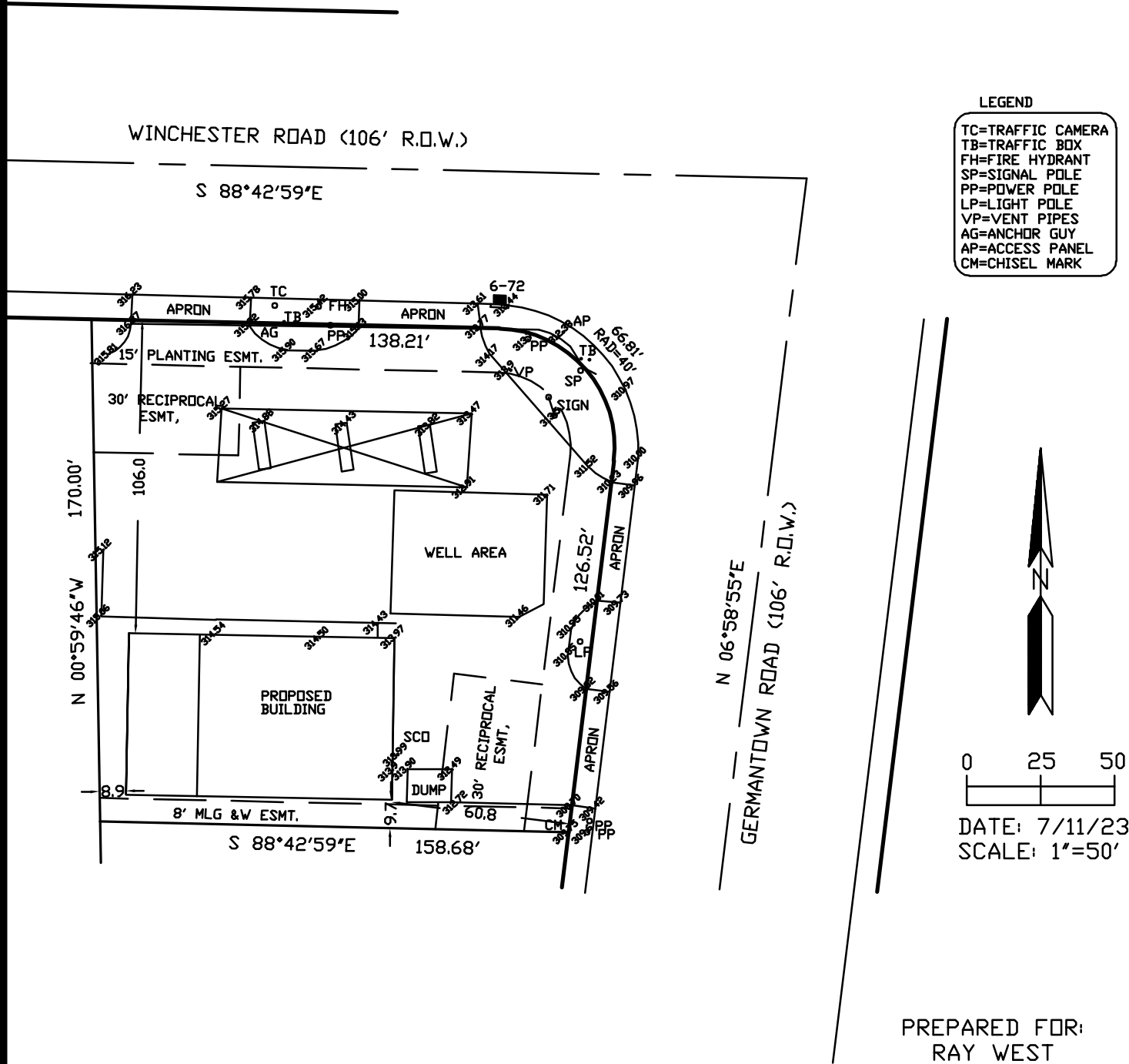
This will allow the dilapidated building to be demolished and replaced with a newly built building.

Sincerely,

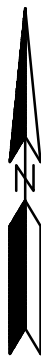


SITE PLAN 6977 WINCHESTER ROAD WINCHESTER-GERMANTOWN SHOPPING CENTER AS RECORDED AT THE SHELBY COUNTY REGISTER'S OFFICE

PB. 86, PG 6
MEMPHIS, SHELBY COUNTY, TN



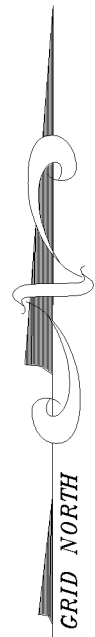
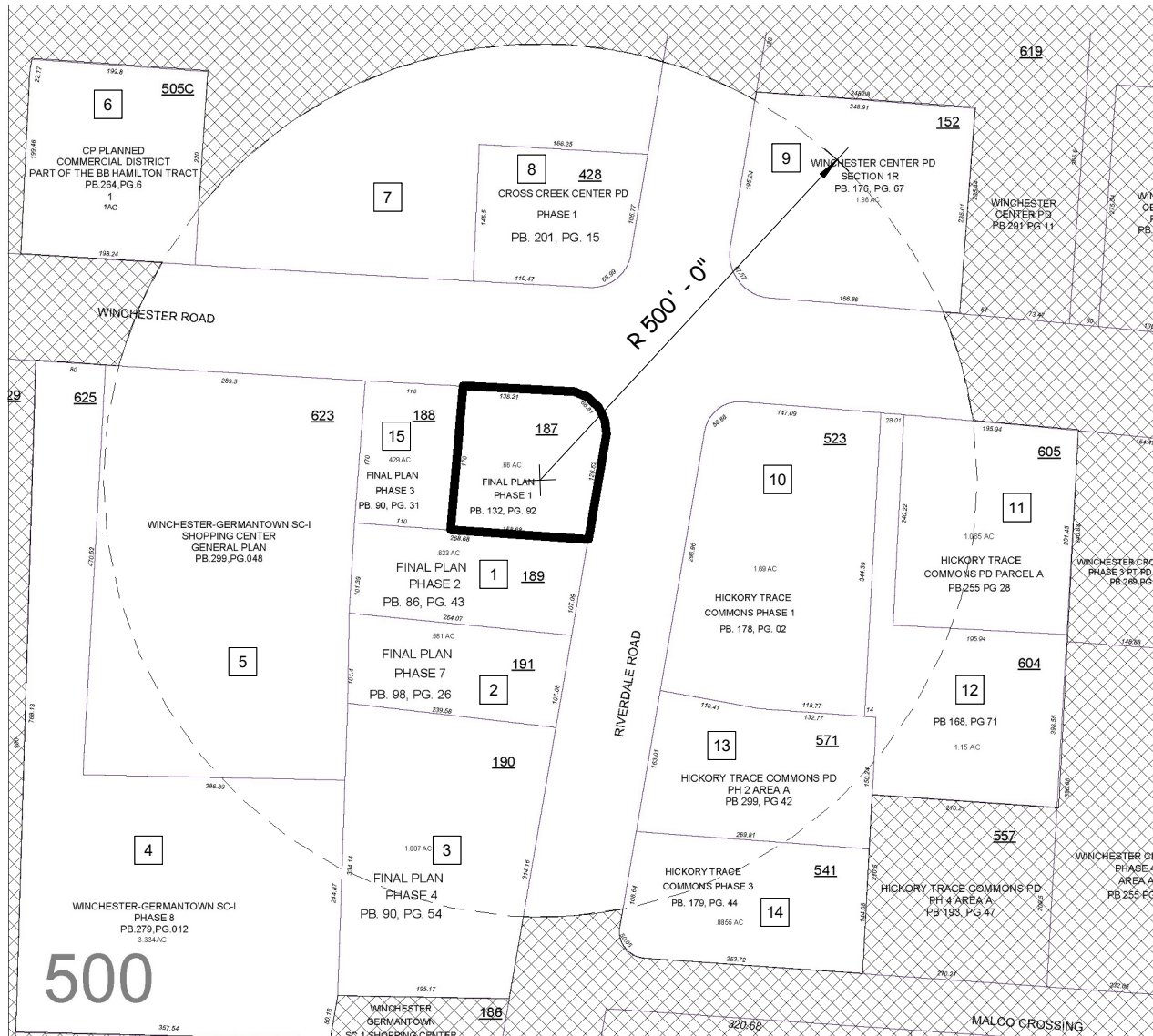
LEGEND
 TC=TRAFFIC CAMERA
 TB=TRAFFIC BOX
 FH=FIRE HYDRANT
 SP=SIGNAL POLE
 PP=POWER POLE
 LP=LIGHT POLE
 VP=VENT PIPES
 AG=ANCHOR GUY
 AP=ACCESS PANEL
 CM=CHISEL MARK


 0 25 50
 DATE: 7/11/23
 SCALE: 1"=50'

PREPARED FOR:
RAY WEST

NOTE: THIS FIRM DOES NOT PERFORM TITLE SEARCHES.
 THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD
 HAZARD AREA PER FEMA FLOOD MAP # 47157C0465 F
 DATED SEPTEMBER 28, 2007.

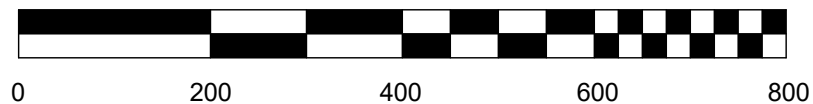
PREPARED BY:
 THE BRAY FIRM
 2950 STAGE PLAZA N.
 BARTLETT, TN 38134
 (901) 383-8668



Vicinity Map w/ Names

Scale: 1" = 200'-0"

GRAPHIC SCALE

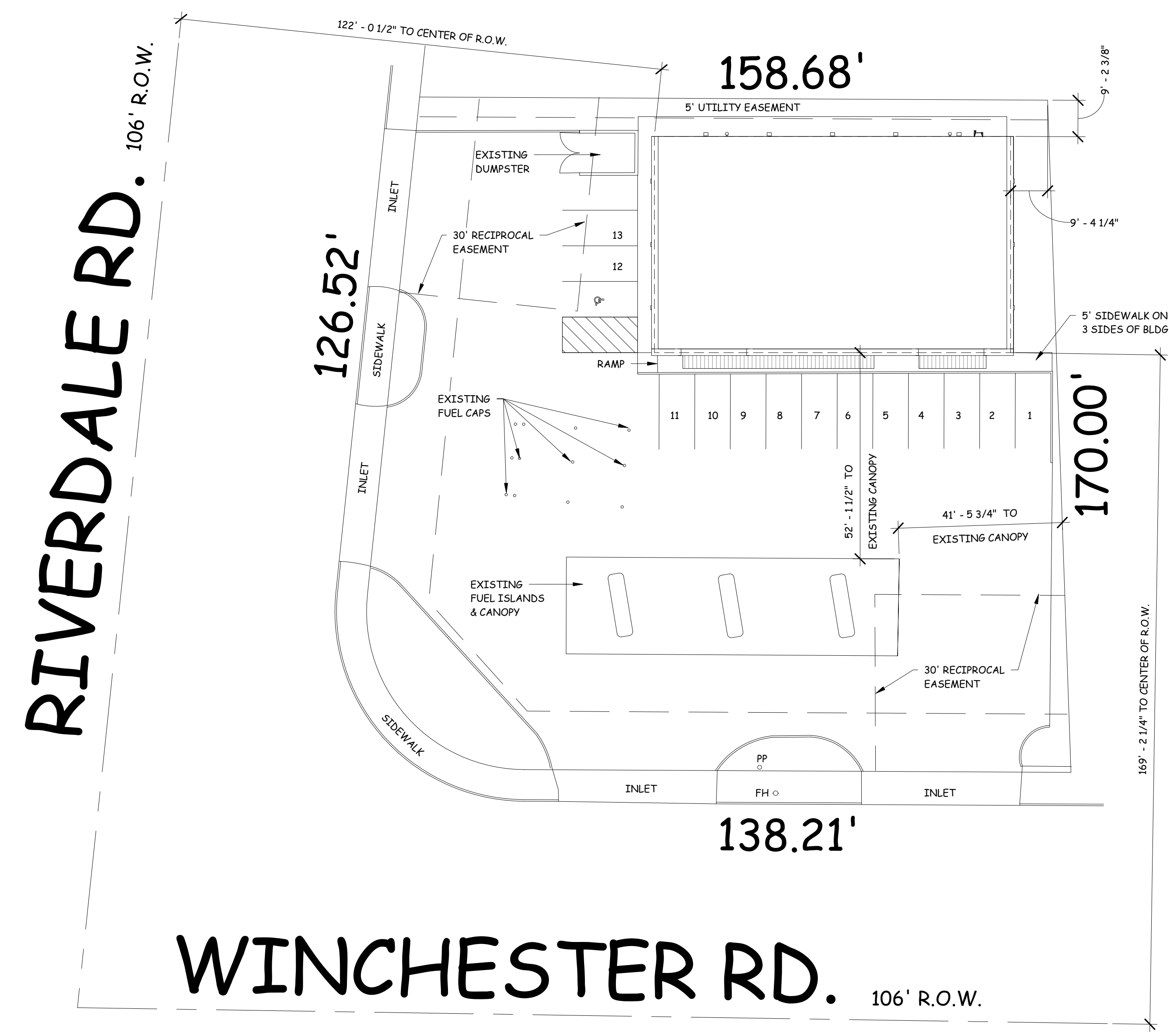


No.	Name	Street Address	City, State Zip
1	I2L LLC S TR	6225 QUINTARD ST STE 203	ARLINGTON TN 38002
2	LEE WYONG HO	3685 RIVERDALE RD	MEMPHIS TN 38115
3	MOUNTAIN TOP GENERAL PARTNERSHIP	8027 PAPERBARK LN	PORT RICHEY FL 34668
4	2012-A PEDIGO TRUST	1711 OLD FORT PKWY STE A	MURFREESBORO TN 37129
5	2012-A PEDIGO TRUST	1711 OLD FORT PKWY STE A	MURFREESBORO TN 37129
6	VETERANS TACTICAL SOLUTIONS LLC	6920 WINCHESTER RD	6920 WINCHESTER RD
7	ASPEN MEMPHIS LLC	83 SOUTH ST STE 101	FREEHOLD NJ 07728
8	M3 HOLDING LLC	6980 WINCHESTER RD	MEMPHIS TN 38115
9	WINCHESTER ROAD 7010 CENTER LLC	760 BRISCOE BLVD	LAWRENCEVILLE GA 30046
10	MDC COASTAL 11 LLC	PO BOX 1159	DEERFIELD IL 60015
11	ALLIED GROUP REALTY LLC	PO BOX 752390	MEMPHIS TN 38175
12	WINCHESTER-RIVERDALE HOLDINGS LLC	1910 MADISON AVE 193	MEMPHIS TN 38104
13	DIAZ GREG & DAISY	1422 LEFLEUR PL	MEMPHIS TN 38120
14	ARC IHMPHTN002 LLC	P O BOX 460069	ESCONDIDO CA 92046
15	LITTLE DANIEL J & CHERI L SIMMONS	631 MYSTIC LN	SACRAMENTO CA 95864

RAY WEST DESIGNS
901.949.3114



WWW.RWESTDESIGNS.COM

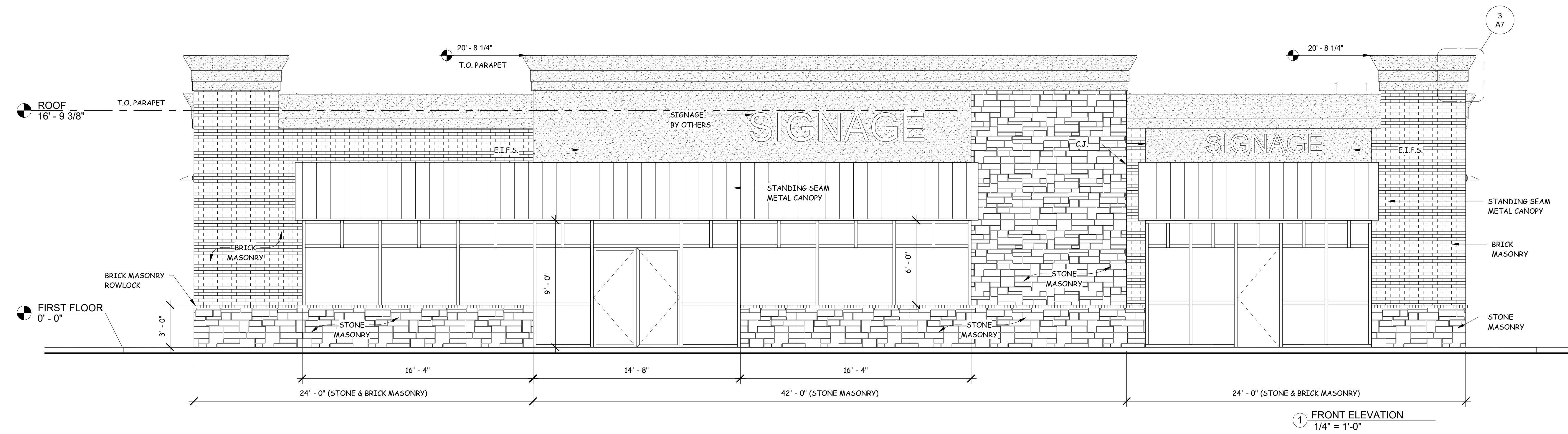


JOB NAME AND ADDRESS:
A.T.L. ENTERPRISE
6977 WINCHESTER ROAD MEMPHIS, TN. 38125
C-STORE PROJECT

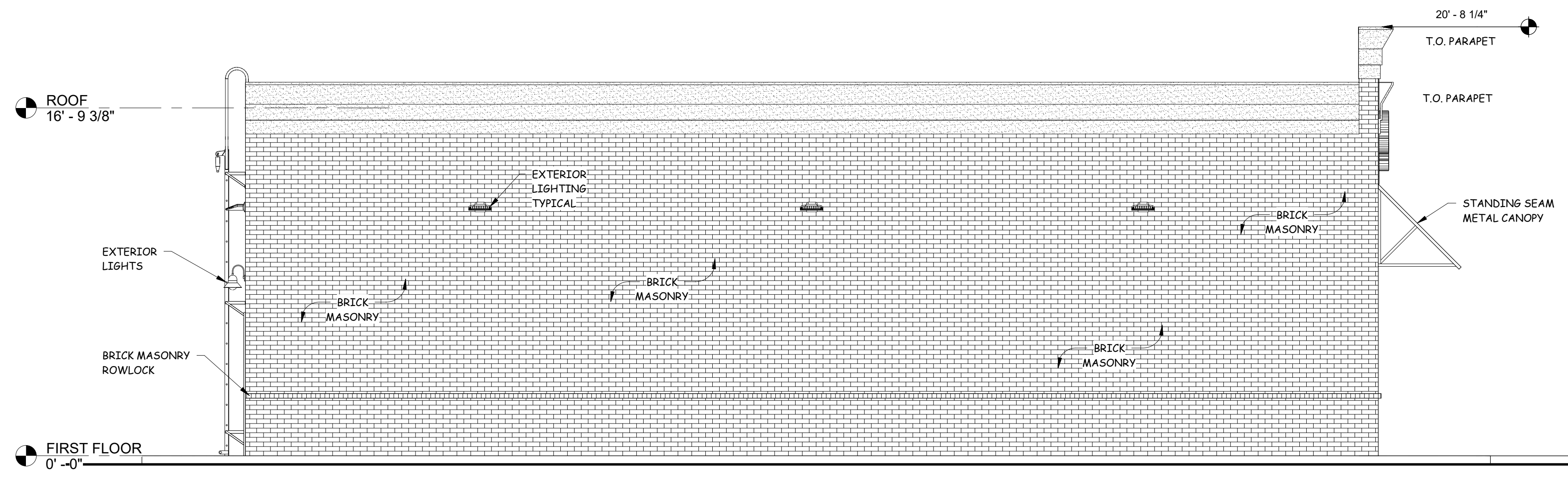
SHEET TITLE:
ARCHITECTURAL SITE
PLAN
DATE:
FEBRUARY 23, 2023

A9
SHEET NO:

1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



① FRONT ELEVATION
1/4" = 1'-0"

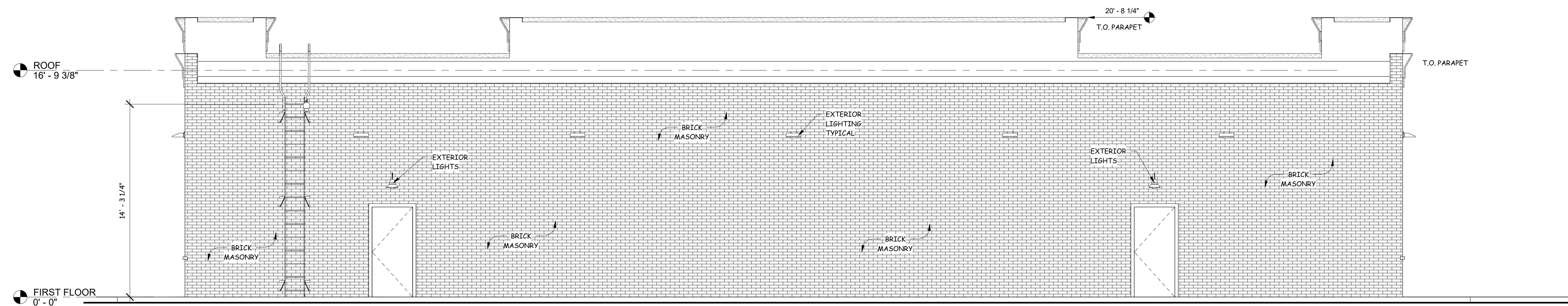


② LEFTSIDE ELEVATION
1/4" = 1'-0"

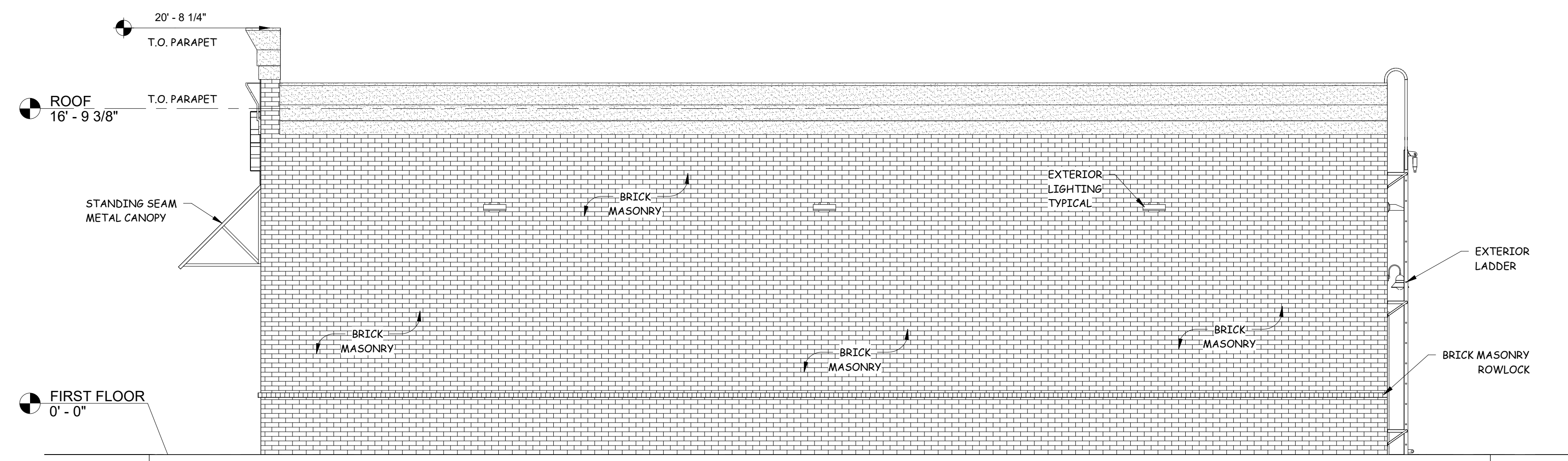
JOB NAME AND ADDRESS:
A.T.L. ENTERPRISE
6977 WINCHESTER ROAD MEMPHIS, TN. 38125
C-STORE PROJECT

SHEET TITLE:
EXTERIOR ELEVATIONS
DATE:
FEBRUARY 23, 2023

SHEET NO:
A5



1 REAR ELEVATION
1/4" = 1'-0"



2 RIGHTSIDE ELEVATION
1/4" = 1'-0"

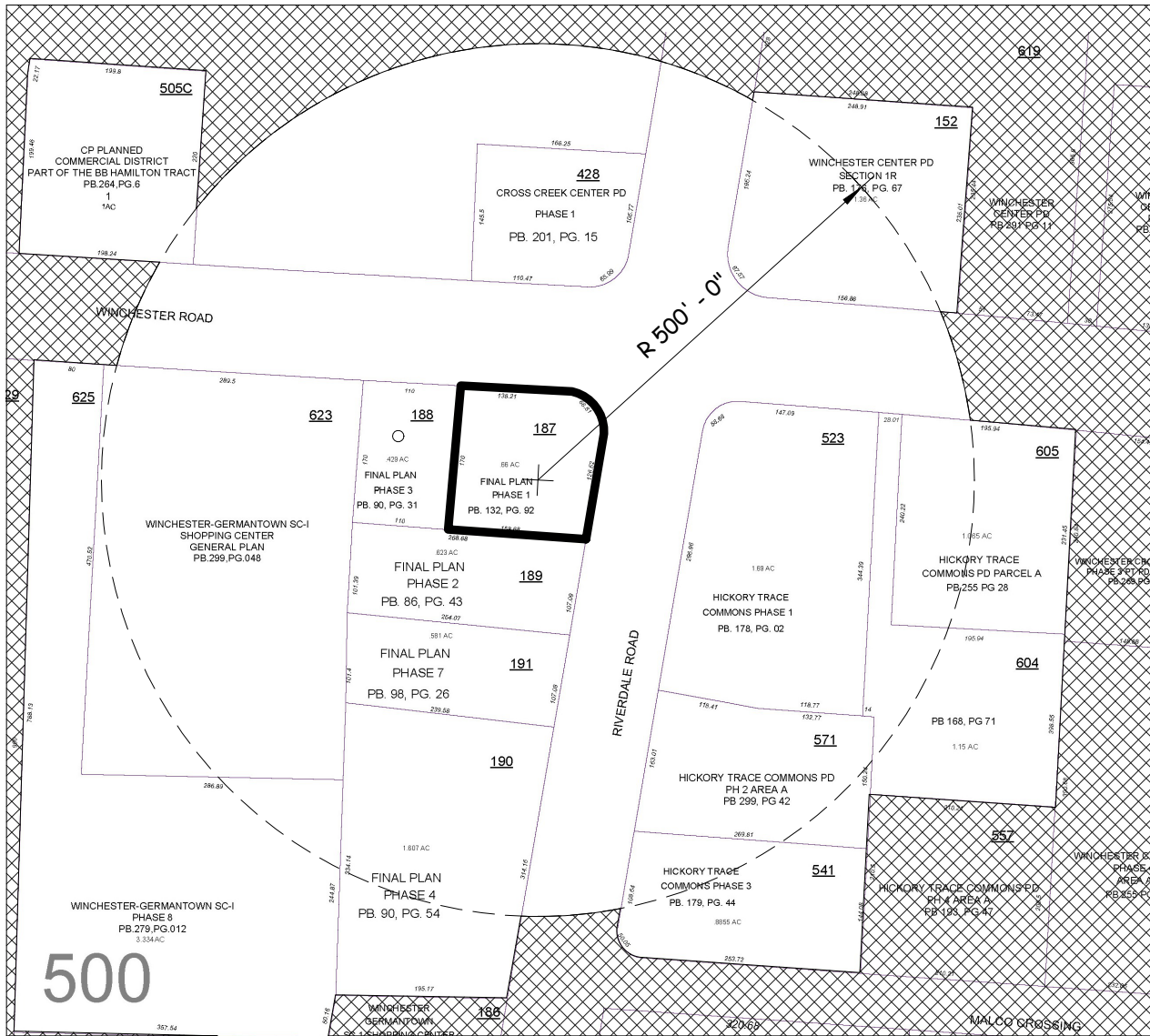
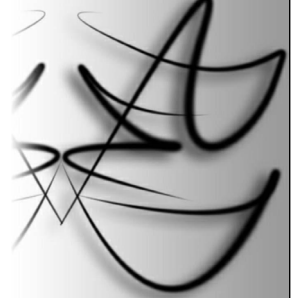
JOB NAME AND ADDRESS:
A.T.L. ENTERPRISE
6977 WINCHESTER ROAD MEMPHIS, TN. 38125
C-STORE PROJECT

SHEET TITLE:
EXTERIOR ELEVATIONS

DATE:
FEBRUARY 23, 2023

A6

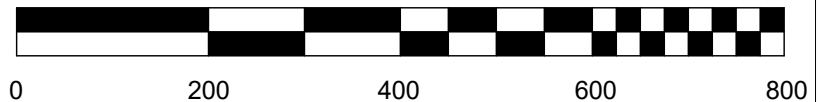
SHEET NO:



Vicinity Map w/o Names

Scale: 1" = 200'-0"

GRAPHIC SCALE



MEMPHIS AND SHELBY COUNTY  **DIVISION OF PLANNING AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

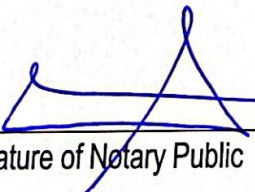
I, SHEIKH M AHAMED , state that I have read the definition of
(Print Name) (Sign Name)

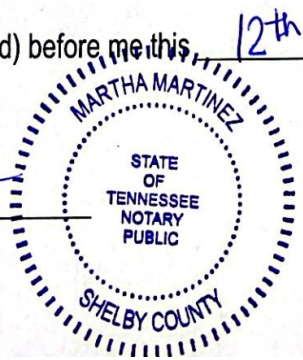
“Owner” as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 6977 Winchester Rd. Memphis, TN 38115
and further identified by Assessor's Parcel Number 093500 00187
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 12th day of December in the year of 2023.


Signature of Notary Public




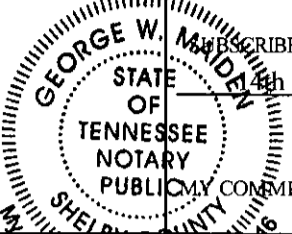
**My Commission Expires
January 19, 2025**
My Commission Expires



Tom Leatherwood
Shelby County Register / Archives

As evidenced by the instrument number shown below, this document
has been recorded as a permanent record in the archives of the
Office of the Shelby County Register.

	
14036469	
04/08/2014 - 09:33 AM	
5 PGS	
TAMMY 1201375-14036469	
VALUE	875000.00
MORTGAGE TAX	0.00
TRANSFER TAX	3237.50
RECORDING FEE	25.00
DP FEE	2.00
REGISTER'S FEE	1.00
WALK THRU FEE	0.00
TOTAL AMOUNT	3265.50
TOM LEATHERWOOD	
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE	

SPECIAL WARRANTY DEED	STATE OF Tennessee COUNTY OF Shelby THE ACTUAL CONSIDERATION OR VALUE, WHICHEVER IS GREATER, FOR THIS TRANSFER IS \$ <u>875,000.00</u>
	<i>Rajia Jill Hoyt</i> Affiant
	SUBSCRIBED AND SWORN TO BEFORE ME, THIS THE <u>14th</u> DAY OF <u>March</u> , 2014
	<i>Dean W. Maiden</i> Notary Public
	COMMISSION EXPIRES: <u>02/15/2016</u> (AFFIX SEAL)

THIS INSTRUMENT WAS PREPARED BY
Maiden and Bennett, 1155 Maiden Park Circle, Collierville, TN 38017

ADDRESS NEW OWNER AS FOLLOWS:	SEND TAX BILLS TO:	MAP-PARCEL NUMBERS
Sheikh Mohiuddin Ahamed (NAME)	Sheikh Mohiuddin Ahamed (NAME)	093500 00187
6977 Winchester Rd. (ADDRESS)	5681 Beacon Park Dr., Apt. 6 (ADDRESS)	
Memphis, TN 38115 (CITY) (STATE) (ZIP)	Memphis, TN, 38134 (CITY) (STATE) (ZIP)	

FOR AND CONSIDERATION OF THE SUM OF TEN DOLLARS, CASH IN HAND PAID BY THE HEREINAFTER NAMED GRANTEE(S), AND OTHER GOOD AND VALUABLE CONSIDERATIONS, THE RECEIPT OF WHICH IS HEREBY ACKNOWLEDGED, I/ WE, Mutahar Sharhan, HEREINAFTER CALLED THE GRANTOR(S), HAVE BARGAINED AND SOLD, AND BY THESE PRESENTS DO TRANSFER AND CONVEY UNTO Sheikh Mohiuddin Ahamed, HEREINAFTER CALLED THE GRANTEE(S), THEIR HEIR(S) AND ASSIGNS, A CERTAIN TRACT OR PARCEL OF LAND IN Shelby COUNTY, STATE OF Tennessee, DESCRIBED AS FOLLOWS, TO-WIT:

Part of the Winchester-Germantown SC-1 General Plan, as shown on plat of record in Plat Book 61, Page 63, and as amended in Plat Book 72, Page 50; Plat Book 86, Page 6; Plat Book 132, Page 92; and Instrument No. BY-9058, in the Register's Office of Shelby County, Tennessee, more particularly described as follows:

Beginning at a point on the South right-of-way of Winchester (a 106 foot right-of-way) at a point 44.19 feet West of the projected West right-of-way line of Germantown Road Extended; thence Southeastwardly along a curve to the right having a radius of 40 feet a distance of 66.81 feet to a point on the West right-of-way line of Germantown Road Extended; thence along said West right-of-way line South 6 degrees 58 minutes 55 seconds West, 126.52 feet to a point; thence parallel to the South right-of-way line of Winchester Road North 88 degrees 42 minutes 59 seconds West, 158.68 feet to a point; thence North 0 degrees 59 minutes 46 seconds West, 170 feet to a point on the South right-of-way line of Winchester Road; thence along said South right-of-way line South 88 degrees 42 minutes 59 seconds East, 138.21 feet to the Point of Beginning.

This being the same property conveyed to Grantor by Special Warranty Deed of record at Instrument No. 10107831, in the Register's Office of Shelby County, Tennessee.

This Conveyance is made subject to Subdivision Restrictions, Building Lines and Easements of record in Plat Book 132, Page 92; Plat Book 86, Page 6; Plat Book 85, Page 65; Plat Book 72, Page 50; and Plat Book 61, Page 63; also subject to Deed Restrictions of record; also subject to easements of record at Instrument No. S8-3412; T8-0911; V7-9475; and V8-8010; Affidavit at Instrument No. 02130658; Agreement at Instrument No. S8-0224, all in the Register's Office of Shelby County, Tennessee.

Property Address: 6977 Winchester Rd., Memphis, TN 38115

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEES, their heirs and assigns forever; and we do covenant with the said GRANTEES that we are lawfully seized and possesses of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our heirs and representatives, to warrant and forever defend the title to the said land to the said GRANTEES, their heirs and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

Witness my hand(s) this 14th day of March 2014

Mutahar Sharhan
Mutahar Sharhan

(SEE ADDITIONAL CONVEYANCE INFORMATION ON NEXT PAGE)

**claiming by, through or under Grantor, but not further or otherwise.

STATE OF Tennessee
COUNTY OF Shelby

Personally appeared before me, the undersigned, a Notary Public in and for
said County and State, the within named Mutahar Sharhan

the bargainor(s), with whom I am personally acquainted or proved to me on the basis of satisfactory evidence, and who acknowledged that

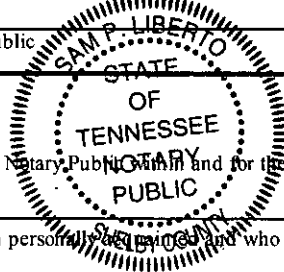
he executed the within instrument for the purposes therein contained. Witness my hand and official seal at:

Collierville, Tennessee ~~XXXX~~ ^{12th} 14th day of March, 2014

Commission Expires My Commission Expires December 14, 2014

Sam P. Liberto

Notary Public



STATE OF TENNESSEE
COUNTY OF

Before me, the undersigned, a Notary Public in and for the

State and County aforesaid, personally appeared _____

and _____ with whom I am personally acquainted and who

upon his, her, their path(s) acknowledged _____ to be the _____

and _____ respectively of the _____

the within named bargainor, and corporation, and that he, she, they as such _____

and _____ being authorized so to do, execute the foregoing instrument for the

purposes therein contained by signing the name of the corporation, by the said _____

as such _____, and attesting the same by the said _____

as such _____.

Witness my hand and official seal at office at _____ on this the _____

day of _____.

My Commission Expires _____

Notary Public

** This conveyance of the Property, and all covenants and warranties contained herein, are made expressly subject to the matters described in Schedule 1, attached hereto and incorporated herein by reference, and the other provisions of this Deed (collectively, the "Permitted Encumbrances").

*** Grantor hereby imposes upon the Property the covenants and restrictions set forth on Schedule 2, attached hereto and incorporated herein by reference (the "Use and Operation Restrictions"). By acceptance of any conveyance of the Property or any right, title or interest therein or any portion thereof, Grantee and its successors and assigns agree to comply with the Use and Operation Restrictions. The Use and Operation Restrictions shall run with the land, shall be binding upon Grantee and its successors and assigns, and shall inure to the sole benefit of Grantor and its successors and assigns. Grantor shall have the right, at Grantor's option and in Grantor's sole and absolute discretion, to release any or all of the Use and Operation Restrictions at any time, by written instrument duly executed and recorded by Grantor.

**** (See Schedule 3)

Return To:

Maiden & Bennett

1155 Halle Park Circle

Collierville, Tennessee 38017

(901)861-4660

SCHEDULE 1

PERMITTED ENCUMBRANCES

1. Taxes and assessments for the year 2014 and subsequent years.
2. Reservations, exceptions, covenants, conditions, restrictions, agreements, easements, setback lines, and other matters of record.
3. Supplemental taxes and assessments levied as a result of the completion of improvements after January 1 of any year.
4. Zoning regulations and other governmental laws, rules, regulations, codes, orders and directives affecting the Property.
5. Unrecorded easements, discrepancies, boundary line disputes, overlaps, shortages in area, encroachments and other matters that would be revealed by an accurate survey or inspection of the Property.
6. The rights that the public and upper and lower riparian owners have in any waters present on the Property.
7. Matters shown on the Plan of record in Book 61, Page 63; Book 72, Page 50; Book 85, Page 65; and Book 132, Page 92, Register's Office for Shelby County, Tennessee.
8. Terms and provisions of Agreement of record as Instrument No. S8-0224, Register's Office for Shelby County, Tennessee.
9. Easements of record as Instrument Nos. S8-3412; T8-0911; V7-9475; and V8-8010, Register's Office for Shelby County, Tennessee.
10. Matters shown on that certain survey conducted by Dickinson and Bennett, Inc., last revised May 21, 2001.

SCHEDULE 2

USE AND OPERATION RESTRICTIONS

1. **Groundwater Exposure Restriction.** No water supply wells of any kind (including, without limitation, water wells used for drinking, bathing or other human consumption purposes and water wells used for livestock, farming or irrigation, shall be installed or used on the Property (collectively, the “Groundwater Exposure Restriction”); provided, however, that the Groundwater Exposure Restriction does not prohibit the installation or use of any compliance wells or any groundwater monitoring, recovery or extraction wells or similar devices used for or related to the performance of any remediation or environmental corrective action work on the Property now or in the future.
2. **Use Restrictions.** No portion of the Property shall be used or occupied for (i) residential uses, including, without limitation, any use that is defined as residential under applicable state environmental laws; (ii) a child care or elder care facility; (iii) a nursing home facility or hospice; (iv) a medical or dental facility; (v) a school; (vi) a church or other place of worship; (vii) a park, or (viii) a hospital.
3. **Below-grade Restriction.** Any building or other improvements, constructed on the Property shall have a slab-on-grade foundation, with the top of the slab at or above surface level, except for any building footings and or underground utilities.
4. **Maintenance of Records.** Grantee shall maintain daily inventory and UST Systems maintenance records for the Property, as required to comply with all applicable laws, rules and regulations. Grantee shall deliver legible copies of such records to Grantor within two (2) days of Grantor’s request for such records. Grantor shall have the right to review these records as Grantor deems necessary. Grantee agrees to continue to use, maintain, repair and keep in good order the existing remote monitoring system (e.g., a Veeder-Root system) or a comparable monitoring system for any UST Systems located on the Property.

SCHEDULE 3

Except for the representations, warranties, guarantees and assurances expressly set forth in that certain Asset Sale and Purchase Agreement between Grantor and Grantee dated effective as of the 24th day of September, 2010, (as amended, the "Asset Sale Agreement") and this deed, Grantee acknowledges and agrees that Grantor has not made, is not making and specifically disclaims any representations, warranties, guarantees or assurances, express or implied, regarding the Property, including, but not limited to, representations, warranties, guarantees and assurances regarding (I) the presence of hazardous or toxic substances, materials, wastes, pollutants and contaminants (collectively, "Hazardous Substances"), (II) Environmental condition, (III) The quality, nature, adequacy or condition of soils and groundwater, (IV) The existence, quality, nature, adequacy or condition of any utility service, (V) Compliance with applicable laws (including, but not limited to, The Americans With Disabilities Act) or any covenant, condition, restriction or other encumbrance, (VI) Zoning or other legal status, (VII) The existence of any pending or threatened taking by condemnation or eminent domain, (VIII) The condition of title or the nature, status or extent of any easement, right of way, encumbrance, license, reservation or other matter affecting title, or (IX) The quality, nature, suitability, fitness for a particular purpose, habitability, adequacy, value, profitability, prospects or condition of the Property. Grantee further acknowledges and agrees that, except as otherwise expressly set forth in the Asset Sale Agreement or this deed, Grantee is acquiring the Property "as is, where is," with all faults and defects (latent or patent).

Except for claims based on Grantor's breach of the warranties contained in the Asset Sale Agreement or this deed, Grantee, on behalf of itself and its successors and assigns, shall be deemed to have waived, released and discharged Grantor from all claims that Grantee or its successors or assigns has or may have against Grantor relating to the Property, whether known or unknown, existing or arising in the future, including, but not limited to, claims arising or resulting from the presence of any hazardous substances on, under or about the Property, or the release of any hazardous substances from the Property. It is expressly acknowledged and agreed that Grantee, on behalf of itself and its successors and assigns, is waiving, releasing and discharging all claims for contribution or indemnity that Grantee or its successors and assigns has or may have against Grantor, whether known or unknown, existing or arising in the future, based, in whole or in part, upon the presence of any hazardous substances on, under or about the Property or the release from the Property of any hazardous substances, including without limitation, claims that may arise under the Comprehensive Environmental Response, Compensation, and Liability Act, as Amended, 42 U.S.C. annotated, 9601 et seq.

	I2L LLC S TR 6225 QUINTARD ST STE 203 ARLINGTON TN. 38002	LEE WYONG HO 3685 RIVERDALE RD. MEMPHIS, TN. 38115
MOUNTAIN TOP GENERAL 8027 PAPERBARK LN. PORT RICHEY, FL. 34668	2012-A PEDIGO TRUST 1711 OLD FORT PKWY. STE A MURFREESBORO, TN. 37129	VETERANS TACTICAL SOLUTIONS LLC 6920 WINCHESTER RD. MEMPHIS, TN. 38115
ASPEN MEMPHIS LLC 88 SOUTH ST. STE. 101 FREEHOLD, NJ. 07728	M3 HOLDING LLC 6980 WINCHESTER RD. MEMPHIS, TN. 38115	WINCHESTER RD. 7010 CTR. LLC 760 BRISCOE BLVD. LAWRENCEVILLE, GA. 30046
MDC COASTAL 11 LLC PO BOX 1159 DEERFIELD, IL. 60015	ALLIED GROUP REALTY LLC PO BOX 752390 MEMPHIS, TN. 38175	WINCHESTER-RIVERDALE HOLDING LLC 1910 MADISON AVE STE 193 MEMPHIS TN 38104
DIAZ GREG & DAISY 1422 LEFLEUR PL. MEMPHIS TN 38120	ARC IHMPHTN002 LLC PO BOX 460069 ESCONDIDO, CA. 92046	LITTLE DANIEL & CHERLI SIMMONS 631 MYSTIC LN. SACRAMENTO, CA. 95864